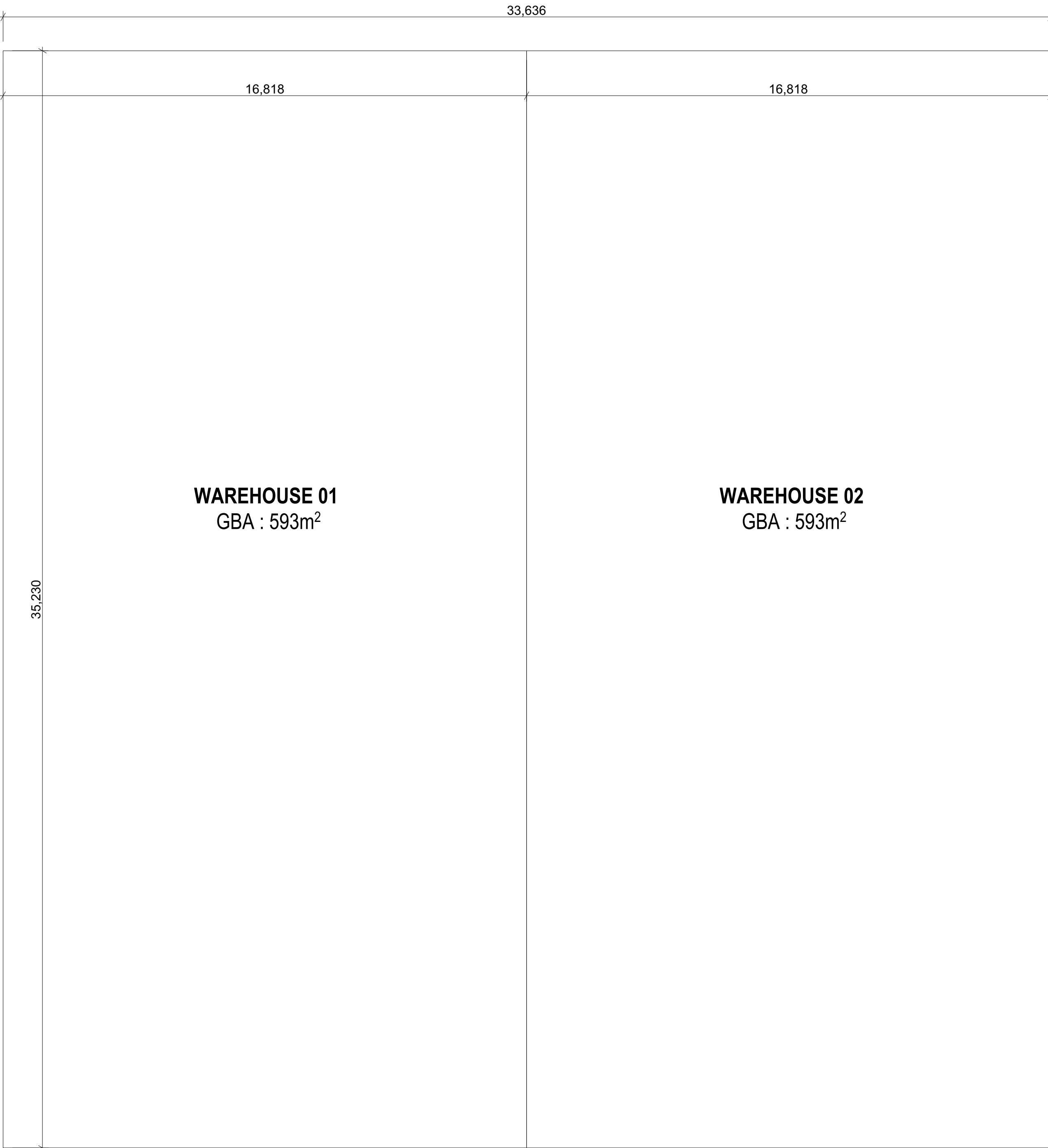
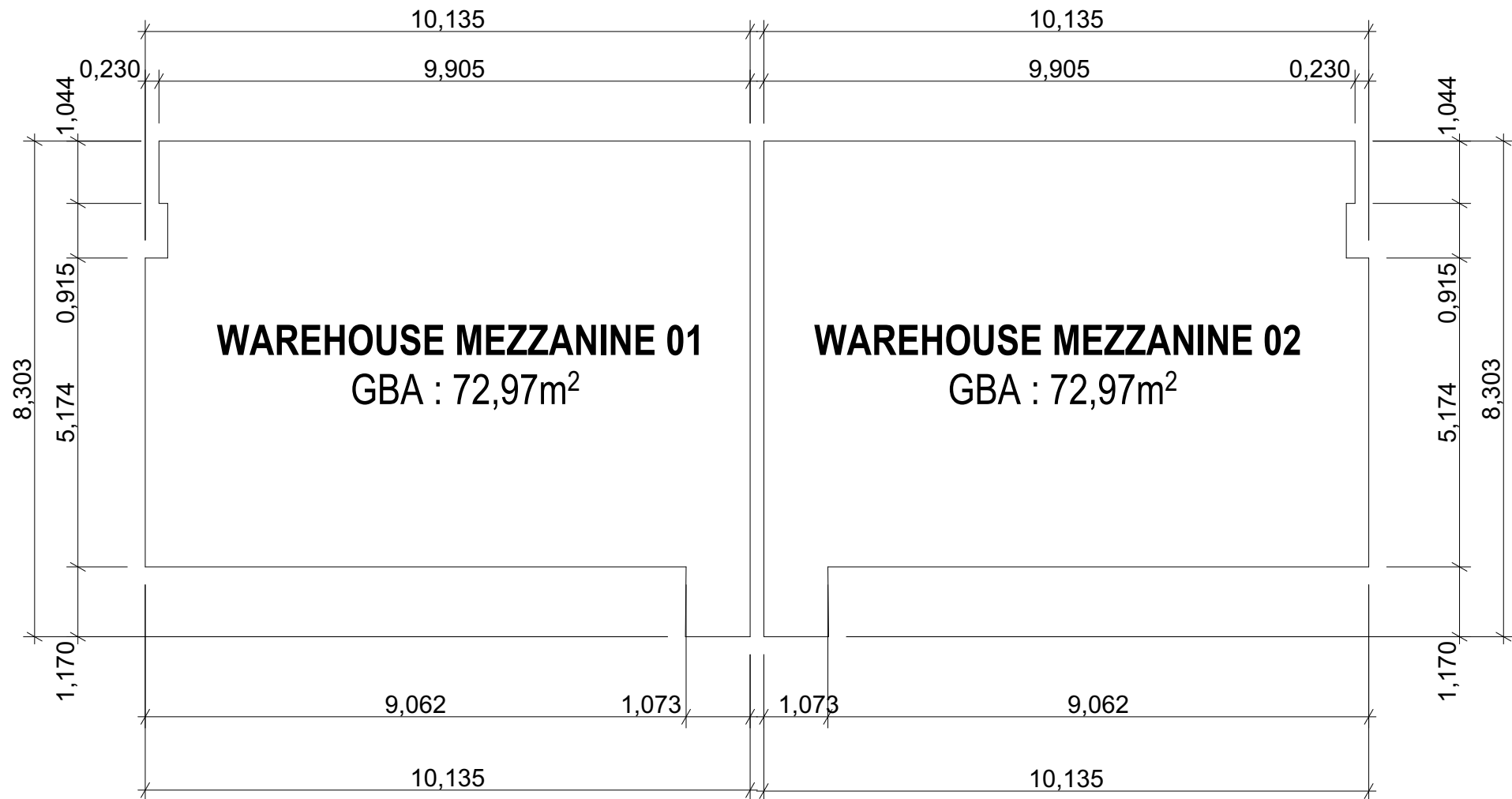




AREA OVERLAY
ground floor plan scale 1:100



AREA OVERLAY
mezzanine floor plan scale 1:100

COVERAGE OVERLAY
GBA : 1 186m²

COVERAGE OVERLAY
ground floor plan scale 1:100

BUILDING AREAS		
WAREHOUSE 01	593	m ²
MEZZANINE 01	72,97	m ²
TOTAL	665,97	m ²
WAREHOUSE 02	593	m ²
MEZZANINE 02	72,97	m ²
TOTAL	665,97	m ²
TOTAL WAREHOUSES	1 331,94	m ²
REFUSE	06	m ²
TOTAL	1 331,94	m ²

SCHEDULE OF AREAS		
BUILDING CLASSIFICATION D3 ZONING : "SPECIAL ZONE IMBONINI SERVICES PARK"		
TOWN PLANNING CONTROLS ERF 1654 NORTH POINT BALLITO		
SITE AREA	2 251	m ²
ALLOWABLE FAR	1 575,7	m ² 0.7
ACTUAL FAR	1331,94m ²	0.59
ALLOWABLE COVERAGE	1 575,7	m ² 70%
COVERAGE WAREHOUSE	1186.00	m ² 52,69%
LANDSCAPING REQUIRED	225	m ² 10%
LANDSCAPING ACHIEVED	225	m ² 10%
PARKING REQUIREMENTS		
LIGHT INDUSTRIAL PARKING RATIO	01 per 140m ²	
1331.94sqm / 140	10 BAYS REQUIRED	
TOTAL PARKING BAYS PROVIDED	15 BAYS REQUIRED	
PARKING BAYS PROVIDED	15 x BAYS	
DISABLED BAY	01 x BAYS	
LOADING BAY	02 x BAYS	

GENERAL NOTES & ENDORSEMENTS All building work to comply with SANS 10400. Dimensions to be verified on site prior to construction. Discrepancies to be reported directly to the architect. DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEERS STORMWATER MANAGEMENT PLAN
GENERAL NOTES All building work to comply with SANS 10400. All boundary lines are exposed and demarcated onsite prior to construction. All site excavations to comply with Part G 4.2.2. All balustrading to comply with Part D 4.2.4. Glazing to comply with part N of 10400 (Part N 4.4). Drainage to comply with part P of 10400 (Part 4.2.2.4). All ducts to comply with SANS 10400 Part 4.18.3 & P 4.18.4 & P 4.18.1. Change in level to comply with part D of SANS 10400. All soil vent pipes (Part P 4.18.8) & Stack (Part P 4.13.1 e,i,j) - to connect into SVP prior to main sewer line. Terminal Rodding Eye (TRE) 1.5m (Part P 4.18.1a2) - prior to sewer main line connection. All exposed concrete soffits to comply with part L of SANS 10400 - drip plaster detail. Structural work to comply with professional engineers details. DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEERS STORMWATER MANAGEMENT PLAN
N.B: All services incl. airconditioning compressors, pool pump, gas cylinders, washlines and satellite dishes screened in ducts.
N.B: All work to comply with North Point Ballito architectural guidelines & design strategies.
SPECIFICATIONS KEY 01. ROOF COVERING & VERTICAL CLADDING: 0.50mm thick AZ150 aluminium / zinc coated steel with G550 prepainted surface. Safflok 700 profile concealed fixing roof sheeting with positive fixing - colour 'Charcoal Grey' (matt) as per Saflok or other approved on aluminium bubble foil insulation to manufacturers specification. All structural steel elements and glaz. steel putins spacing as per engineers details. Transient sheeting with UV protection Safflok 700 profile installed as per manufacturers recommendations. PRIMARY' ROOF PITCH - as indicated 05° All side and apex flashing as per manufacturers details. Roofing contractor to provide a min. 5-year guarantee for workmanship and watertightness with positive fixing certificate for apex and eaves. 02. VENTILATION LOUVRES Ventilation louvres consisting of weather resistant louvres with insect screen as per Trox AWK or other approved fixed to aluminium frame to match side cladding. 03. SOLAR PANELS as per manufacturers specifications to be installed in the same plane as the roof, all piping and fixing mechanisms to be concealed. Frame of panels to match colour of roof. 04. GUTTERS & DOWNPIPES: Seamless aluminium gutters and downpipes, colour to match roof. Rain water downpipes encased in ducts to be PVC, exposed downpipes - aluminium to match building structure. 05. CONCRETE ROOFS: All concrete roofs slabs and beams strictly as per engineer's details. Waterproofing on screed laid to fall in direction of full-bore outlet. Waterproofing to be provided up and on all parapet walls, and under coping detail. Waterproofing as per suppliers accredited applicator details and specifications, guarantee to be issued. 06. CEILINGS: Gypsum ceiling boards to interior - Skimmed with 'RHINOLITE' and painted white as indicated on drawings. Concrete soffit off-shutter unless otherwise specified. 07. WINDOW & DOOR FRAMES: CHARCOAL GREY powder coated aluminium window frames. All window sills to be plastered. Glazing to comply with PART N OF SANS 10400 (to be read in conjunction with energy efficiency report & window schedule). 08. EXTERNAL WALLS: To be plastered clay / cement brick masonry. All plaster and paint as per architect's specifications (a) SMOOTH PLASTER AND PAINT 'Plascon' - DARK ONYX (b) SMOOTH PLASTER AND PAINT 'Plascon' - MOON BEAM (c) OFF SHUTTER CONCRETE 'Cemcrete Skimmer' - DAWN 09. INTERNAL DRY WALL PARTITIONS: All dry walls installation as per specialist recommendations. 120mm 'Capoc' or similar approved 120minute fire rated board, with sound 50dB sound insulation. 10. WOOD CLADDING: Smooth slatted 'BALAU' timber planks 90x19mm to be stained sealed treated as per specialist recommendations. All structural timber elements as per engineer's details and specifications. 11. FLOOR TILES: Floor tiles as per architect's/owners specifications. 12. POLISHED CONCRETE FLOOR FINISH: Non-slip polished concrete floor with exposed aggregate and added scored hardener as per specialist to floor slabs as specified on drawings. 13. STEEL ELEMENTS: All steel elements prepared and painted with 2 coats red oxide paint and 3 coats marine grade paint as per engineer's specifications. Colour NAVY GREY 14. BALUSTRADES: 1000n GMS balustrade with GALV mesh insert as per architect's detail to comply with PART D of SANS 10400 15. RETAINING WALLS: Retaining wall and water proofing including subsoil drainage to engineer's details and specifications. Finish as per architect's specification. 16. FOOTINGS / FOUNDATIONS: Reinforced Concrete footings to Engineers Details 17. STAIRCASE: RC Staircase to Engineers details: Riser @ 170mm / Tread @ 300mm. Finishes as per architects spec. To comply with SANS 10400 Part M4.2.5 18. PAVING & DRIVEWAYS Driveways - clay brick pavers Parking demarcation - light grey cement cobble Truck circulation - interlocking pavers Porous paving to be utilized for stormwater filtration - bedding and layerworks as per engineers specifications. Adequate drainage and catchments to all hardened surfaces as per engineer. 19. EXTERNAL LIGHTING All LED external lighting to radiate horizontally / upwards or downwards as per architect. Consideration to be given to highly corrosive coastal environments with regard to light fittings. 20. GARDEN ELEMENTS / BOUNDARY WALLS / COPINGS All freestanding boundary and courtyard walls to have plastered and painted copings with plaster drip detail 21. LANDSCAPING As per landscape architects specifications 22. GATES, SCREENS & POOL FENCE 'Xpanda' or similar approved anti rust roller shutter doors colour coded to match building. 23. DUCT REMOVABLE ACCESS PANELS 'BALAU' horizontal timber planks stained and sealed, screwed to balau subframe to be made removable for access to duct.

FOR OFFICIAL USE ONLY



GENERAL NOTES:
All dimensions to be checked on site and any discrepancies to be reported directly to the architect. Dimensions are not to be scaled.
All building works to comply with SANS 10400 & All structural works to comply with the engineers drawings and specifications. Any discrepancies with architectural drawings to be reported to the architect.

date	revisions
OCCUPANCY D3 - WAREHOUSE	

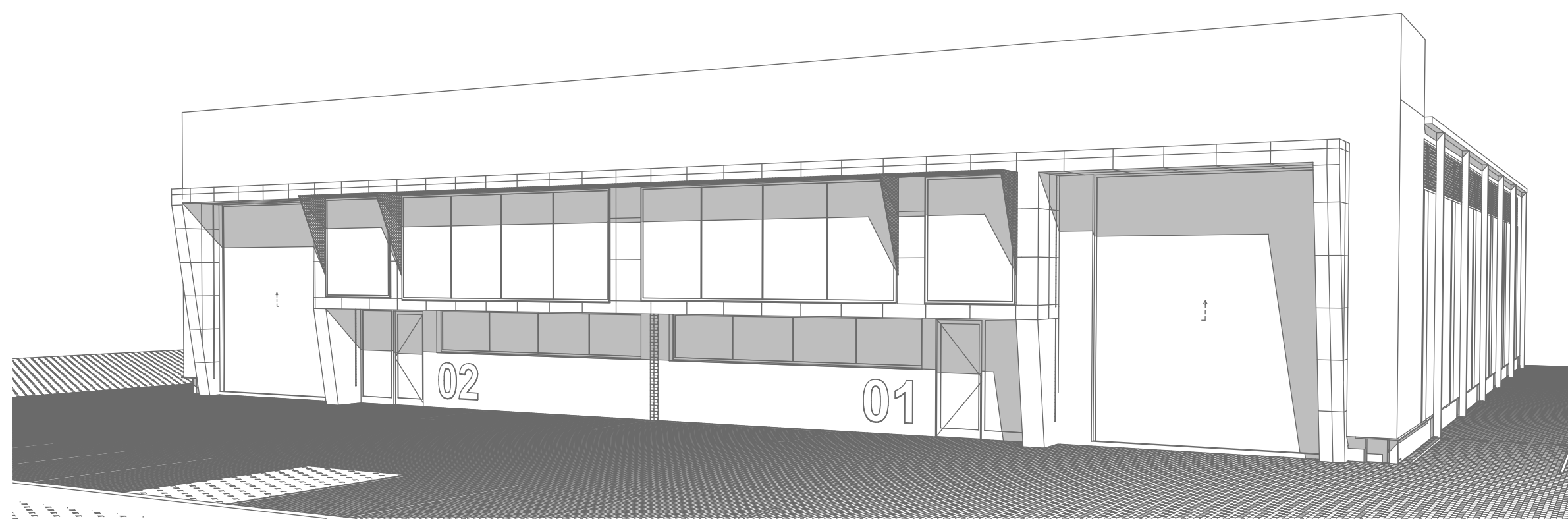
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DWG ref.	LA - 2025 / 003-099
Author	Sidesh Rajbali + Kyle Padayachee
Date	24.02.2025
Page	A0
signatures:	
client	architect

MAXIMUM CAPACITY LOADING BAY AND MANEUVERING TO ACCOMMODATE INTERLINK/SUPERLINK TRUCK.

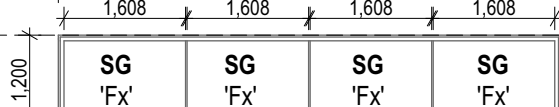
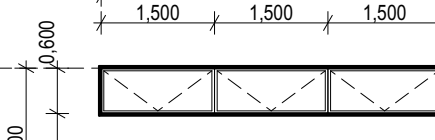
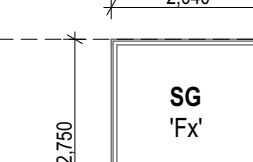
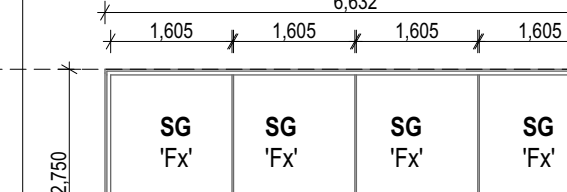


LOT 1636
(Vacant)

BUILDING AREAS	
WAREHOUSE 01	593 m ²
MEZZANINE 01	72,97 m ²
TOTAL	665,97 m ²
WAREHOUSE 02	593 m ²
MEZZANINE 02	72,97 m ²
TOTAL	665,97 m ²
<u>TOTAL WAREHOUSES</u>	1 331,94 m²
REFUSE	06 m ²
TOTAL	1 331,94 m ²

Architectural rendering of the exterior of the 'House of the Future' in Tokyo. The building features a modern, multi-level design with large glass windows and a prominent entrance. The structure is composed of various geometric forms, including a large, white, angular volume on the right side. The ground floor has a series of large, open spaces, some of which are labeled with numbers like '02' and '01'. The overall aesthetic is clean and futuristic, reflecting the 'House of the Future' theme.

DOOR SCHEDULE 1:100					
		Low E energy glazing by specialist			
FFL					
WINDOW No. FRAME GLAZING THICKNESS GLAZING AREA QUANTITY LOCATION	D 01 POWDER COATED INDUSTRIAL ROLLER SHUTTER N/A N/A 02 LOADING BAY / WAREHOUSE ENTRANCE	D 02 POWDER COATED INDUSTRIAL DOOR 6.4mm TOUGHENED SAFTEY GLASS 10.5 m² 02 WAREHOUSE ENTRANCE	D 03 CLASS 2B FIRE ESCAPE DOOR N/A N/A 02 WAREHOUSE	D 04 HOLLOWCORE MASONITE N/A N/A 02 TOILET & STAFF ROOM	D 05 HOLLOWCORE MASONITE N/A N/A 02 PARAPLEGIC TOILET

WINDOW SCHEDULE 1:100						
		Low E energy glazing by specialist 			Low E energy glazing by specialist 	Low E energy glazing by specialist 
FFL						
WINDOW No.	W 01	W 02	W 03	W 04	W 05	
FRAME	ALUMINIUM - CHARCOAL GREY	ALUMINIUM - CHARCOAL GREY	ALUMINIUM - SHOPFRONT	ALUMINIUM - SHOPFRONT	ALUMINIUM - SHOPFRONT	
GLAZING THICKNESS	6.4mm TOUGHENED SAFETY GLASS	6.4mm SAFETY GLASS	6.4mm TOUGHENED SAFETY GLASS	6.4mm TOUGHENED SAFETY GLASS	6.4mm TOUGHENED SAFETY GLASS	
GLAZING AREA	26.4sqm.	2.1sqm.	0.2sqm.	5.61sqm.	9.99sqm.	
QUANTITY	02	04	04	02	02	
LOCATION	WAREHOUSE	WAREHOUSE	STAFFROOM / MEZZANINE	STAFFROOM / MEZZANINE	STAFFROOM / MEZZANINE	

N.B: All work to comply with North Point Ballit architectural guidelines & design strategies.

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GENERAL NOTES:
 All dimensions to be checked on site and any discrepancies to be reported directly to the architect. Dimensions are not to be scaled
 All building works to comply with SANS 10400 & All structural works to comply with the engineers drawings and specifications. Any discrepancies with architectural drawings to be reported to the architect.

date	revisions
OCCUPANCY D3 - WAREHOUSE	

project description:
NEW WAREHOUSE(S)
property description:
**ON LOT 1637, SHAKASHEAD
NORTH POINT INDUSTRIAL**
Street Address: Erf 1654 Shakas Head
client:

YASSER SULEMAN

SITE PLAN

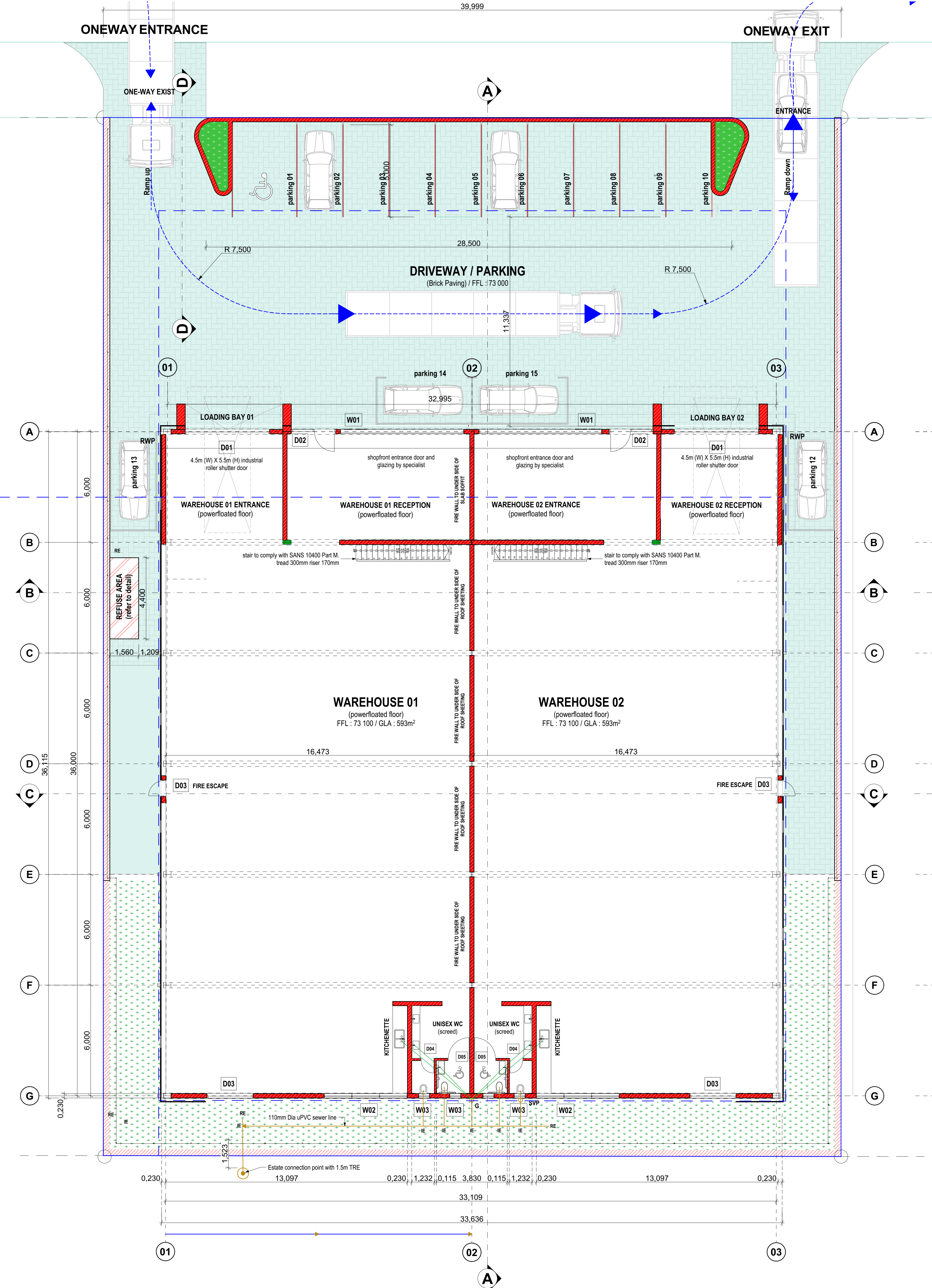
DWG ref. LA - 2025 / 003-100
 Author Sidesh Rajbali + Kyle Padayachee
 Date 24.02.2025
 Page A0
 signatures:

client architect



NOTE :

MAXIMUM CAPACITY LOADING BAY AND MANEUVERING TO ACCOMMODATE INTERLINK/SUPERLINK TRUCK.



ground floor plan scale 1:100

SANS 10400 PART P TOILET PROVISIONS PER WAREHOUSE			
UNISEX TOILET PROVISIONS PER WAREHOUSE			
	TOILET / URINAL	WC PARAPLEGIC	WHB
MALE	1	1	2
FEMALE	1	1	2

BUILDING AREAS	
WAREHOUSE 01	593 m ²
MEZZANINE 01	72,97 m ²
TOTAL	665,97 m ²
WAREHOUSE 02	593 m ²
MEZZANINE 02	72,97 m ²
TOTAL	665,97 m ²
TOTAL WAREHOUSES	1 331,94 m ²
REFUSE	06 m ²
TOTAL	1 331,94 m ²

SCHEDULE OF AREAS			
BUILDING CLASSIFICATION D3			
ZONING : "SPECIAL ZONE IMBONINI SERVICES PARK"			
TOWN PLANNING CONTROLS ERF 1654 NORTH POINT BALLITO			
SITE AREA	2 251 m ²		
ALLOWABLE FAR	1 575,7 m ²	0,7	
ACTUAL FAR	1331,94m ²	0,59	
ALLOWABLE COVERAGE	1 575,7 m ²	70%	
COVERAGE WAREHOUSE	1186,00 m ²	52,69%	
LANDSCAPING REQUIRED	225 m ²	10%	
LANDSCAPING ACHIEVED	225 m ²	10%	
PARKING REQUIREMENTS			
LIGHT INDUSTRIAL PARKING RATIO	01 per 140m ²		
1331,94sqm / 140	10 BAYS REQUIRED		
TOTAL PARKING BAYS PROVIDED	15 BAYS		
PARKING BAYS PROVIDED	15 x BAYS		
LOADING BAY	02 x BAYS		

GENERAL NOTES & ENDORSEMENTS
All building work to comply with SANS 10400.
Dimensions to be verified on site prior to construction.
Discrepancies to be reported directly to the architect.
DRAWING IS TO BE READ IN CONJUNCTION WITH
ENGINEERS STORMWATER MANAGEMENT PLAN

GENERAL NOTES
All building work to comply with SANS 10400.
All boundary features exposed and demarcated onsite prior to construction.
All site excavations to comply with Part G 4.2.2
All balustrading to comply with Part D 4.2.4
Glazing to comply with part N of 10400 (Part N 4.4)
Drainage to comply with part P of 10400 (Part 4.2.2.4)
All ducts to comply with SANS 10400 Part 4.18.3 & P 4.18.4 & P 4.18.1
Change in level to comply with part D of SANS 10400
All soil vent pipes (Part 4.18.8) & Stack (Part 4.13.1 e./j.) - to correct into SVP prior to main sewer line
Terminal Rodding Eye (TRE) 1.5m (Part P 4.18.1a2) - prior to sewer main line connection
All exposed concrete soffits to comply with part L of SANS 10400 - drip plaster detail
Structural work to comply with professional engineers details
DRAWING IS TO BE READ IN CONJUNCTION WITH
ENGINEERS STORMWATER MANAGEMENT PLAN

N.B: All services incl. airconditioning compressors, pool pump, gas cylinders, washlines and satellite dishes screened in ducts.

N.B: All work to comply with North Point Ballito architectural guidelines & design strategies.

SPECIFICATIONS KEY

01. ROOF COVERING & VERTICAL CLADDING:
0.50mm thick AZ150 aluminium / zinc coated steel with G550 pre-painted surface. Saffol 700 profile concealed fixing roof sheeting with positive fixing - colour 'Charcoal Grey' (mat) as per Saffol or other approved on aluminium bubble foil insulation to manufacturers specification. All structural steel elements and glaz. steel putins spacing as per engineers details.
Transient sheeting with UV protection Saffol 700 profile installed as per manufacturers recommendations.

PRIMARY ROOF PITCH - as indicated 05°

All side and apex flashing as per manufacturers details.
Roofing contractor to provide a min. 5 year guarantee for workmanship and watertightness with positive fixing certificate for apex and eaves.

02. VENTILATION LOUVRES
Ventilation louvres consisting of weather resistant louvres with insect screen as per Trox AWK or other approved fixed to aluminium frame to match side cladding.

03. SOLAR PANELS
As per manufacturers specifications to be installed in the same plane as the roof, all piping and fixing mechanisms to be concealed. Frame of panels to match colour of roof.

04. GUTTERS & DOWNPIPES:
Seamless aluminium gutters and downpipes, colour to match roof. Rain water downpipes enclosed in ducts to be PVC, exposed downpipes - aluminium to match building structure.

05. CONCRETE ROOFS:
All concrete roofs slabs and beams strictly as per engineer's details. Waterproofing on screed laid to fall in direction of full-bore outlet. Waterproofing to be provided up and on all parapet walls, and under coping detail. Waterproofing as per suppliers accredited applicator details and specifications, guarantee to be sealed.

06. CEILINGS:
Gypsum ceiling boards to interior - Skimmed with 'RHINOLITE' and painted white as indicated on drawings. Concrete soffit off-shutter unless otherwise specified.

07. WINDOW & DOOR FRAMES:
CHARCOAL GREY powder coated aluminium window frames. All window sills to be plastered. Glazing to comply with PART N OF SANS 10400 (to be read in conjunction with energy efficiency report & window schedule).

08. EXTERNAL WALLS:
To be plastered clay / cement brick masonry
All plaster and paint as per architect's specifications
(a) SMOOTH PLASTER AND PAINT
'Plascon' - DARK ONYX
(b) SMOOTH PLASTER AND PAINT
'Plascon' - MOON BEAM
(c) OFF SHUTTER CONCRETE
Concrete Skimmer - DAWN

09. INTERNAL DRY WALL PARTITIONS:
All dry walls installation as per specialist recommendations. 120mm 'Cappo' or similar approved 120minute fire rated board, with sound 50dB sound insulation.

10. WOOD CLADDING:
Smooth slatted 'BALAU' timber planks 90x19mm to be stained sealed treated as per specialist recommendations. All structural timber elements as per engineer's details and specifications.

11. FLOOR TILES:
Floor tiles as per architect's/owners specifications.

12. POLISHED CONCRETE FLOOR FINISH:
Non-slip polished concrete floor with exposed aggregate and add-on scored hardener as per specialist to floor slabs as specified on drawings.

13. STEEL ELEMENTS:
All steel elements prepared and painted with 2 coats red oxide paint and 3 coats marine grade paint as per engineer's specifications. Colour 'NAVY GREY'

14. BALUSTRADES:
1000m GMS balustrade with GALV mesh insert as per architect's detail to comply with PART D of SANS 10400

15. RETAINING WALLS:
Retaining wall and water proofing including subsoil drainage to engineer's details and specifications. Finish as per architect's specification.

16. FOOTINGS / FOUNDATIONS:
Reinforced Concrete footings to Engineers Details

17. STAIRCASE:
R/C Staircase to Engineers details:
Riser @ 170mm / Tread @ 300mm.
Finishes as per architects spec.
To comply with SANS 10400 Part M4.2.5

18. PAVING & DRIVEWAYS
Driveways - clay brick pavers
Parking demarcation - light grey cement cobble
Truck circulation - interlocking pavers
Porous paving to be utilized for stormwater filtration - bedding and layerworks as per engineers specifications
Adequate drainage and catchments to all hardened surfaces as per engineer.

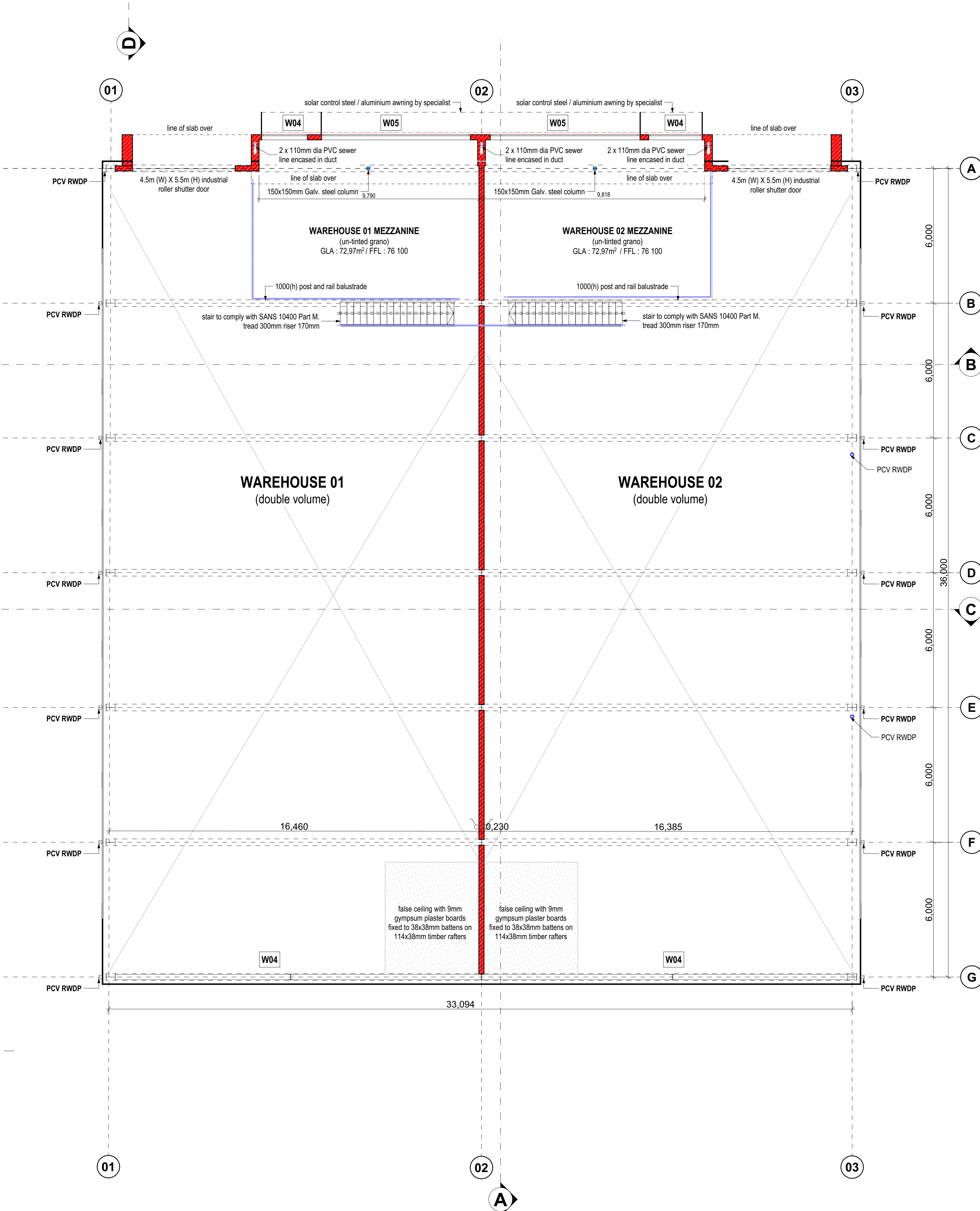
19. EXTERNAL LIGHTING:
All LED external lighting to radiate horizontally / upwards or downwards as per architect. Consideration to be given to highly corrosive coastal environments with regard to light fittings.

20. GARDEN ELEMENTS / BOUNDARY WALLS / COPINGS
All freestanding boundary and courtyard walls to have plastered and painted copings with plaster drip detail

21. LANDSCAPING
As per landscape architects specifications

22. GATES, SCREENS & POOL FENCE
'Xpanda' or similar approved anti rust roller shutter doors colour coded to match building.

23. DUCT REMOVABLE ACCESS PANELS
'BALAU' horizontal timber planks stained and sealed, screwed to balau subframe to be made removable for access to duct.



mezzanine floor plan scale 1:100

FOR OFFICIAL USE ONLY

GENERAL NOTES:
All dimensions to be checked on site and any discrepancies to be reported directly to the architect. Dimensions are not to be scaled.
All building works to comply with SANS 10400 & All structural works to comply with the engineers drawings and specifications. Any discrepancies with architectural drawings to be reported to the architect.

date revisions

OCCUPANCY D3 - WAREHOUSE

project description:
NEW WAREHOUSE(S)

property description:
ON LOT 1637, SHAKASHEAD
NORTH POINT INDUSTRIAL
Street Address: Erf 1654 Shakas Head
client:
YASSER SULEMAN

drawing description:
GROUND + MEZZANINE FLOOR PLAN

DWG ref. LA - 2025 / 003-101

Author Sidesh Rajbali & Kyle Padayachee

Date 24.02.2025

Page A0

signatures:

client architect

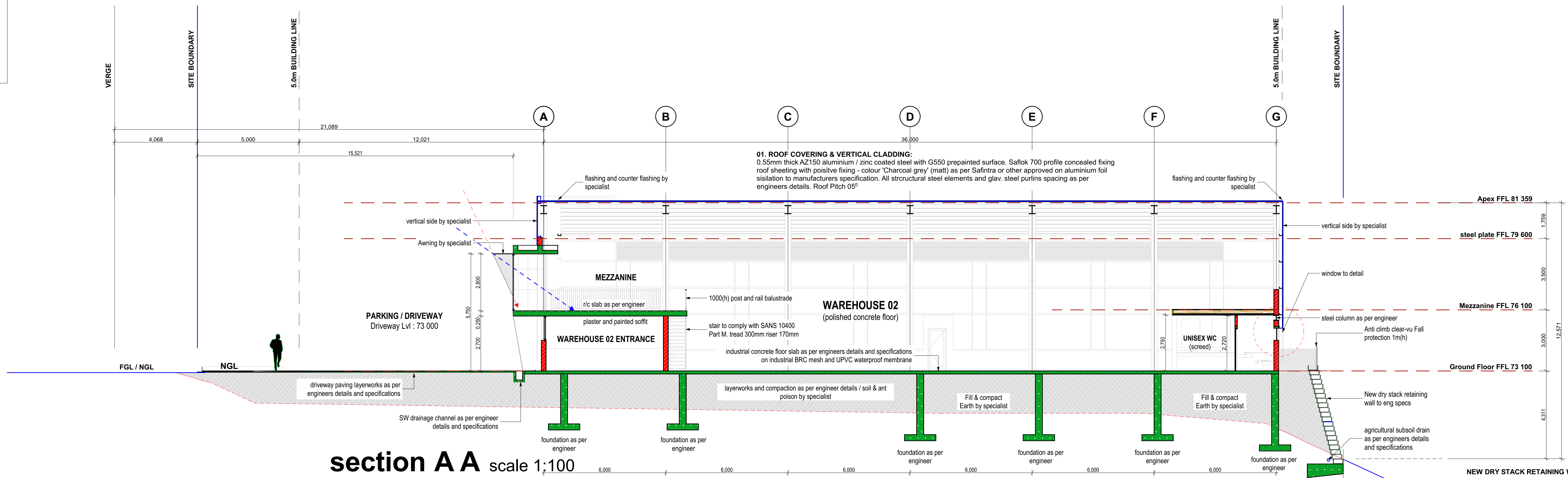
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SIDESH RAJBALI
Lead Architect PR Arch / SACAP Reg : 2476822 (B.A. S.M. Arch)

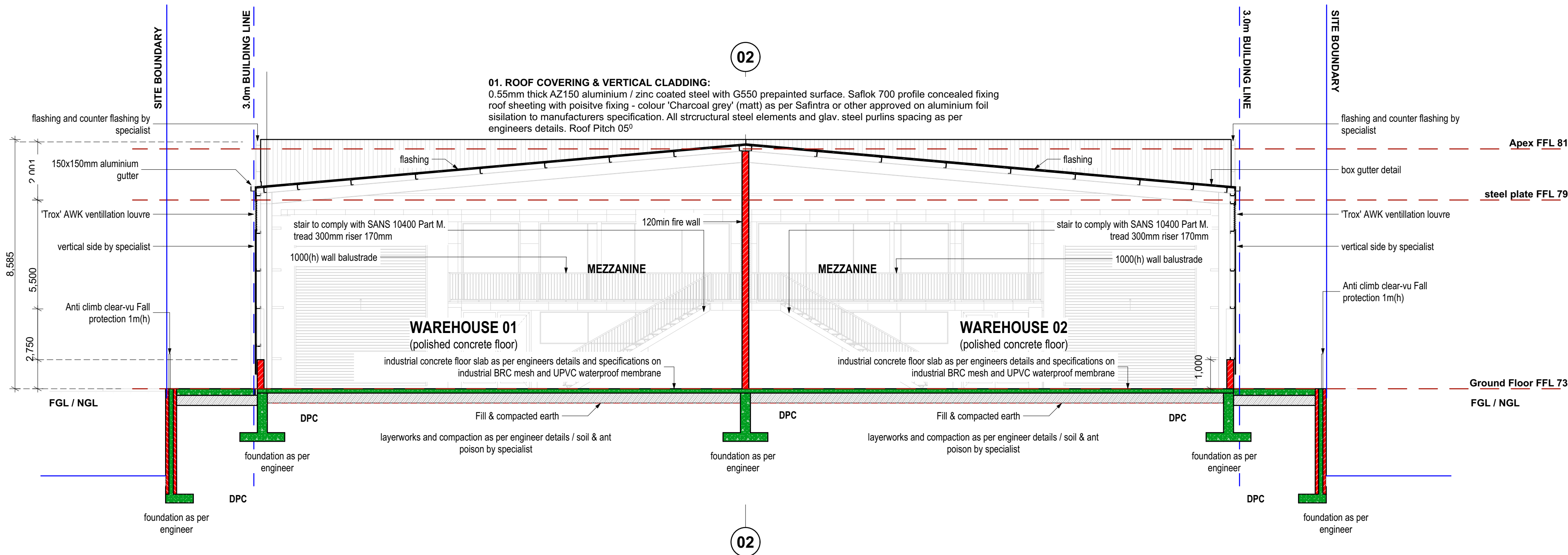
T : (+27) 83 395 3558 | E : s@arch.co.za | W : www.arch.co.za

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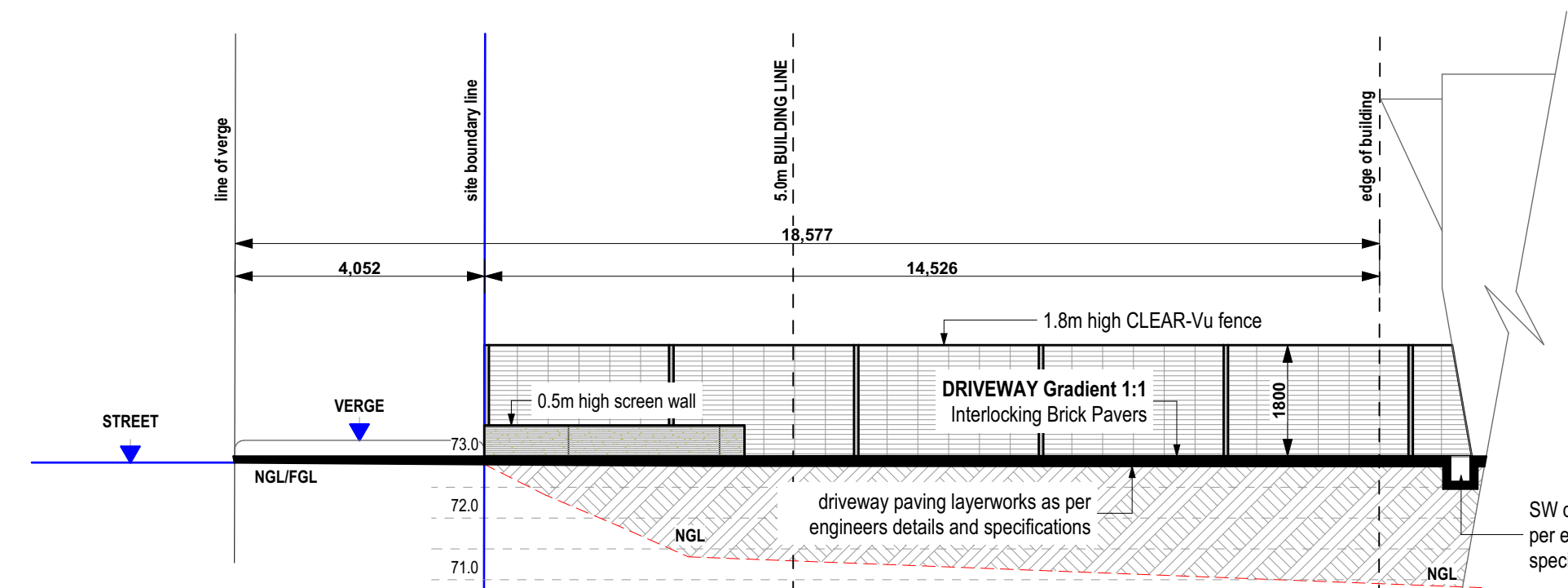
MAXIMUM CAPACITY LOADING BAY AND MANEUVERING TO ACCOMMODATE INTERLINK/SUPERLINK TRUCK.



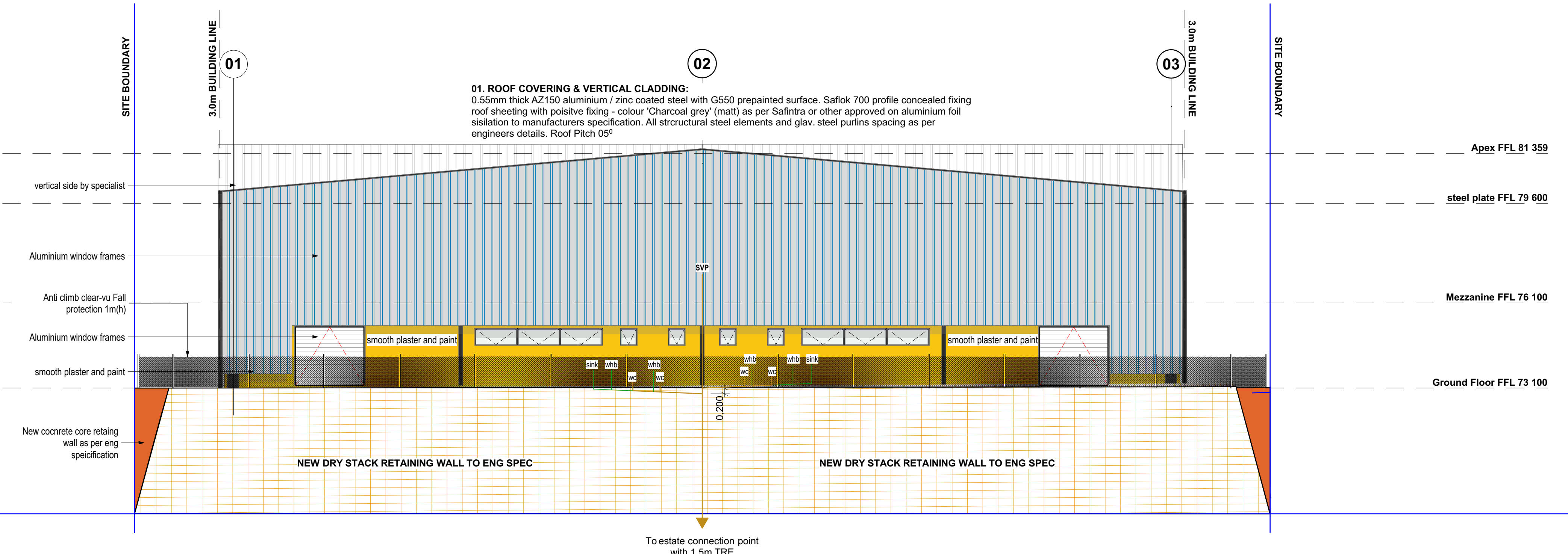
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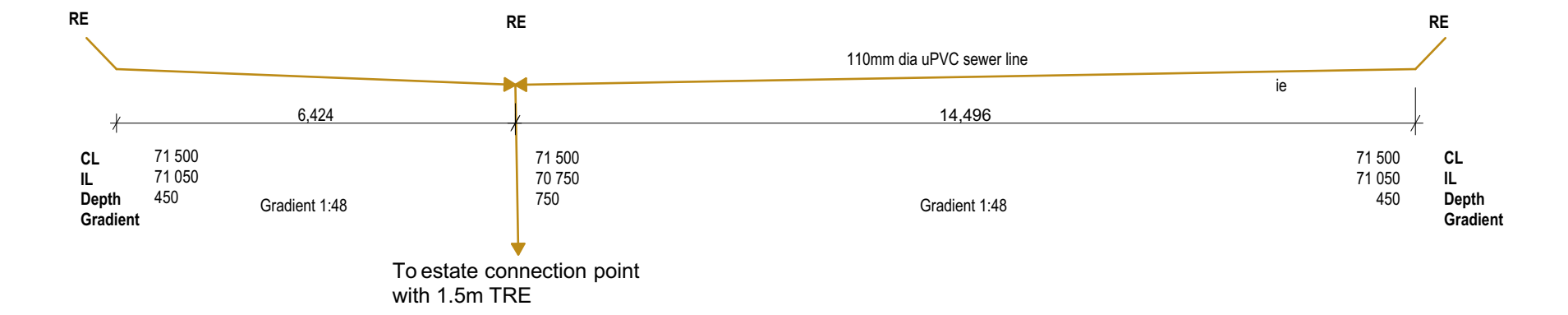
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Driveway Section D D scale 1:100

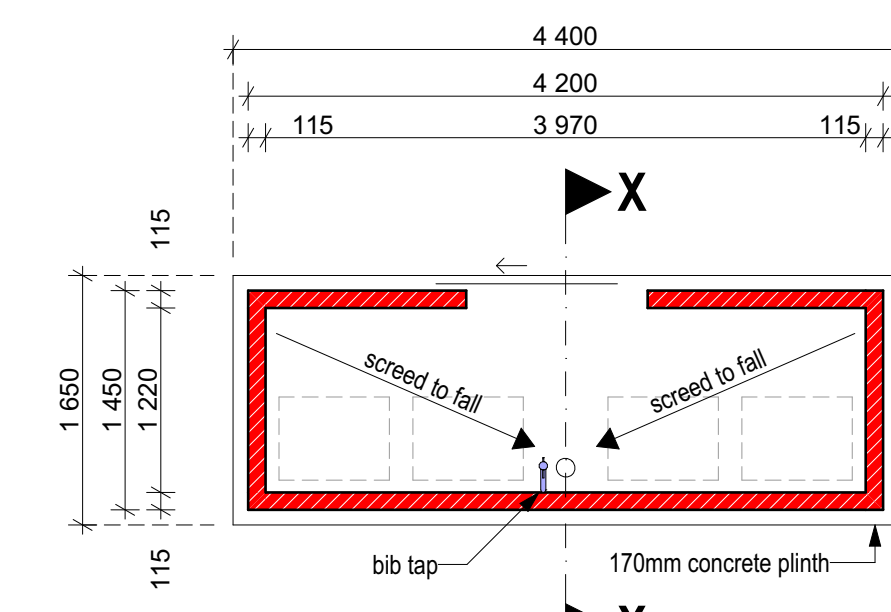


south elevation scale 1:100



south elevation - sewer section scale 1:100

BIN AREA scale 1:50

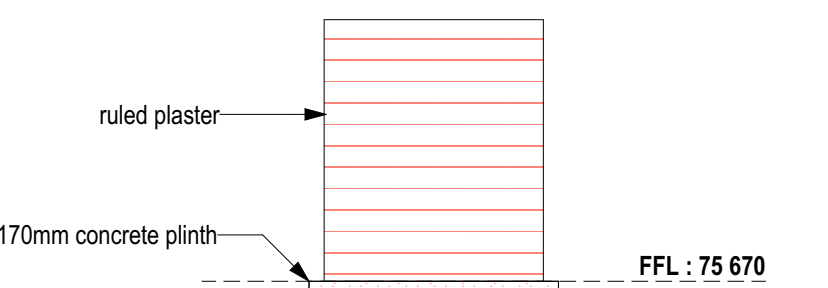
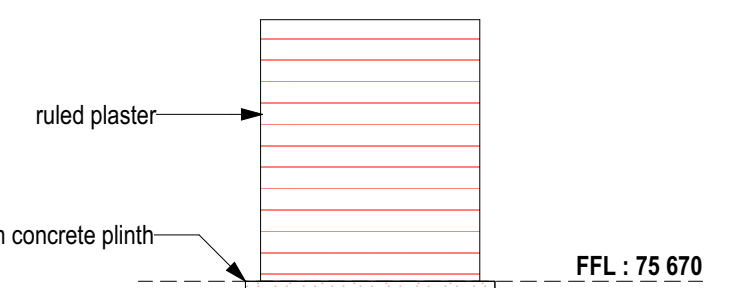
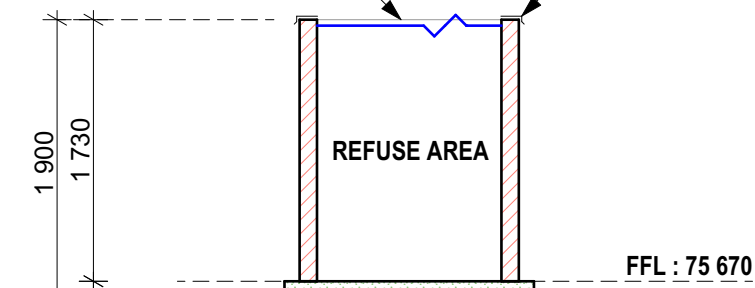
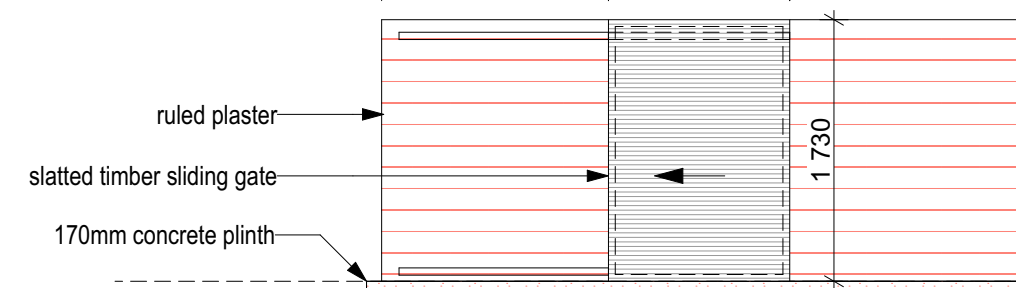
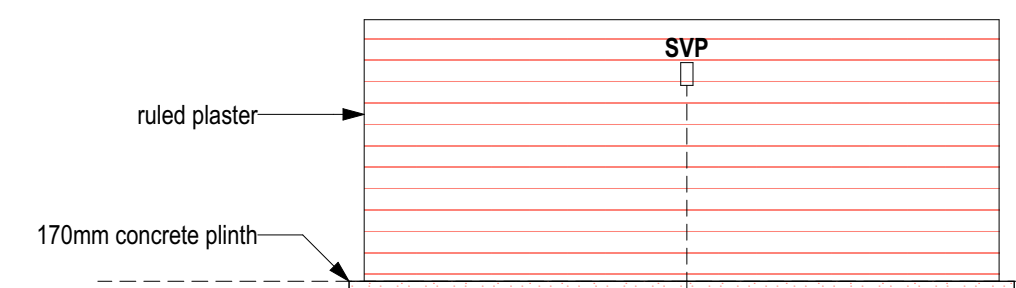


GENERAL ENDORSEMENTS

refuse area to be rotund proof
refuse area to be monkey proof

REFUSE AREA

170mm floor slab with screed laid to fall
FFL: 73 100 / Area: 50m²



GENERAL NOTES & ENDORSEMENTS

All building work to comply with SANS 10400.
Dimensions to be verified on site prior to construction.
Discrepancies to be reported directly to the architect

DRAWING IS TO BE READ IN CONJUNCTION WITH
ENGINEERS STORMWATER MANAGEMENT PLAN

GENERAL NOTES

All building work to comply with SANS 10400.
All boundary lines exposed and demarcated onsite prior to construction

All site excavations to comply with Part G 4.2.2
All baselining to comply with Part D 4.2.4

Glazing to comply with part N of 10400 (Part N 4.4)
Drainage to comply with part P of 10400 (Part P 4.2.2.4)

All ducts to comply with SANS 10400 Part 4.18.3 & P 4.18.4 & P 4.18.1
Change in level to comply with part D of SANS 10400

All soil vent pipes (Part P 4.18.3) & Stack (Part P 4.13.1 e.u.) -
to correct into SVP prior to main sewer line

Terminal Rodding Eye (TRE) 1.5m (Part P 4.18.1a2) -
prior to sewer main line connection

All exposed concrete soffits to comply with part L of SANS 10400 -
drip plaster detail

Structural work to comply with professional engineers details

DRAWING IS TO BE READ IN CONJUNCTION WITH
ENGINEERS STORMWATER MANAGEMENT PLAN

N.B: All services incl. airconditioning compressors, pool
pump, gas cylinders, washlines and satellite dishes
screened in ducts.

N.B: All work to comply with North Point Ballito
architectural guidelines & design strategies.

Specifications Key

01. ROOF COVERING & VERTICAL CLADDING:
0.55mm thick A2150 aluminium / zinc coated steel with G550
pre-painted surface. Salflok 700 profile concealed fixing
roof sheeting with positive fixing - colour 'Charcoal Grey' (matt) as
per Salflok or other approved on aluminium bubble foil
isolation to manufacturers specification. All structural steel elements
and glav. steel purlins spacing as per engineers details.

Transient sheeting with UV protection Salflok 700 profile
installed as per manufacturers recommendations.

PRIMARY ROOF PITCH - as indicated 05°

All side and apex flashing as per manufacturers details.
Roofing contractor to provide a min. 5 year guarantee for
workmanship and watertightness with positive fixing certificate
for apex and eaves.

02. VENTILATION LOUVRES
Ventilation louvres consisting of weather resistant louvres with
insect screen as per Trox AWK or other approved fixed to
aluminium frame to match side cladding.

03. SOLAR PANELS
as per manufacturers specifications to be installed in the same
plane as the roof, all piping and fixing mechanisms to be
concealed. Frame of panels to match colour of roof.

04. GUTTERS & DOWNPIPES:
Seamless aluminium gutters and downpipes, colour to match
roof. Rain water downpipes encased in ducts to be PVC,
exposed downpipes - aluminium to match building structure.

05. CONCRETE ROOFS:
All concrete roof slabs and beams strictly as per engineer's
details. Waterproofing on screed laid to fall in direction of full-
bore outlet. Waterproofing to be provided up and on all parapet
walls, and under coping detail. Waterproofing as per suppliers
accredited applicator details and specifications, guaranteed to be
sealed.

06. CEILINGS:
Gypsum ceiling boards to interior - Skimmed with 'RHINOLITE'
and painted white as indicated on drawings. Concrete soffit off-
shutter unless otherwise specified.

07. WINDOW & DOOR FRAMES:
CHARCOAL GREY powder coated aluminium window frames.
All window sills to be plastered. Glazing to comply with
PART N OF SANS 10400 (to be read in conjunction with
energy efficiency report & window schedule).

08. EXTERNAL WALLS:
To be plastered clay / cement brick masonry
All plaster and paint as per architect's specifications
(a) SMOOTH PLASTER AND PAINT
'Plascon' - DARK ONYX
(b) SMOOTH PLASTER AND PAINT
'Plascon' - MOON BEAM
(c) OFF SHUTTER CONCRETE
'Cercrete Skimmer' - DAWN

09. INTERNAL DRY WALL PARTITIONS:
All dry wall installation as per specialist recommendations.
120mm 'Capso' or similar approved 120minute fire rated board.
with sound 50dB sound insulation.

10. WOOD CLADDING:
Smooth slatted 'BALAU' timber planks 90x19mm to be stained
sealed treated as per specialist recommendations. All structural
timber elements as per engineer's details and specifications.

11. FLOOR TILES:
Floor tiles as per architect's/owners specifications.

12. POLISHED CONCRETE FLOOR FINISH:
Non-slip polished concrete floor with exposed aggregate and
add-on scored hardener as per specialist to floor slabs as
specified on drawings.

13. STEEL ELEMENTS:
All steel elements prepared and painted with 2 coats red oxide
paint and 3 coats marine grade paint as per engineer's
specifications. Colour 'NAVY GREY'

14. BALUSTRADES:
1000mm GMS balustrade with GALV mesh insert as per architect's
detail to comply with PART D of SANS 10400

15. RETAINING WALLS:
Retaining wall and water proofing including subsoil drainage to
engineer's details and specifications. Finish as per architect's
specification.

16. FOOTINGS / FOUNDATIONS:
Reinforced Concrete footings to Engineers Details

17. STAIRCASE:
RC Staircase to Engineers details:
Riser @ 170mm / Tread @ 300mm.
Finishes as per architects spec.
To comply with SANS 10400 Part M4.2.5

18. PAVING & DRIVEWAYS
Driveways - clay brick pavers
Parking demarcation - light grey cement cobble
Truck circulation - interlocking pavers
Porous paving to be utilized for stormwater filtration - bedding
and layerworks as per engineers specifications
Adequate drainage and catchments to all hardened surfaces as
per engineer.

19. EXTERNAL LIGHTING
All LED external lighting to radiate horizontally / upwards or
downwards as per architect. Consideration to be given to highly
corrosive coastal environments with regard to light fittings.

20. GARDEN ELEMENTS / BOUNDARY WALLS / COPINGS
All freestanding boundary and courtyard walls to have plastered
and painted copings with plaster drip detail

21. LANDSCAPING
As per landscape architects specifications

22. GATES, SCREENS & POOL FENCE
'Xpanda' or similar approved anti rust roller shutter doors colour
coded to match building.

23. DUCT REMOVABLE ACCESS PANELS
'BALAU' horizontal timber planks stained and sealed, screwed
to balau subframe to be made removable for access to duct.

FOR OFFICIAL USE ONLY

GENERAL NOTES:

All dimensions to be checked on site and any discrepancies to be
reported directly to the architect. Dimensions are not to be scaled
All building works to comply with SANS 10400 & All structural works
to comply with the engineers drawings and specifications. Any
discrepancies with architectural drawings to be reported to the
architect

date revisions

OCCUPANCY D3 - WAREHOUSE

project description:

NEW WAREHOUSE(S)

property description:
ON LOT 1637, SHAKASHEAD

NORTH POINT INDUSTRIAL
Street Address: Erf 1654 Shakas Head

client:

YASSER SULEMAN

drawing description:

SECTIONS + ELEVATIONS

DWG ref. LA - 2025 / 003-200/300

Author Sidesh Rajbali + Kyle Padayachee

Date 24.02.2025

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signatures:

client

architect

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SRA
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SIDESH RAJBALI

Lead Architect | PR. Arch | SACAP Reg. : 2476822 (B.A. S.I. M. Arch)

T: (+27) 03 395 3558 | E: e@srarch.co.za | W: www.srarch.co.za

NOTE :

MAXIMUM CAPACITY LOADING BAY AND MANEUVERING TO ACCOMMODATE INTERLINK/SUPERLINK TRUCK.

FOR OFFICIAL USE ONLY

GENERAL NOTES & ENDORSEMENTS

All building work to comply with SANS 10400.
Dimensions to be verified on site prior to construction.
Discrepancies to be reported directly to the architect

DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEERS STORMWATER MANAGEMENT PLAN

GENERAL NOTES

All building work to comply with SANS 10400.
All boundary boundaries exposed and demarcated onsite prior to construction
All site excavations to comply with Part G 4.2.2
All balustrading to comply with Part D 4.2.4
Glazing to comply with part N of 10400 (Part N 4.4)
Drainage to comply with part P of 10400 (Part 4.2.2.4)
All ducts to comply with SANS 10400 Part 4.18.3 & P 4.18.4 & P 4.18.1
Change in level to comply with part D of SANS 10400
All soil vent pipes (Part P 4.18.8) & Stack (Part P 4.13.1 e./f.) - to correct into SVP prior to main sewer line
Terminal Rodding Eye (TRE) 1.5m (Part P 4.18.1a2) - prior to sewer main line connection
All exposed concrete soffits to comply with part L of SANS 10400 - drip plaster detail

Structural work to comply with professional engineers details

DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEERS STORMWATER MANAGEMENT PLAN

N.B: All services incl. airconditioning compressors, pool pump, gas cylinders, washlines and satellite dishes screened in ducts.

N.B: All work to comply with North Point Ballito architectural guidelines & design strategies.

SPECIFICATIONS KEY

01. ROOF COVERING & VERTICAL CLADDING:
0.55mm thick AZ150 aluminium / zinc coated steel with G550 prepainted surface. Safflok 700 profile concealed fixing roof sheeting with positive fixing - colour 'Charcoal grey' (matt) as per Safintra or other approved on aluminium foil isolation to manufacturers specification. All structural steel elements and glav. steel purlins spacing as per engineers details.

Transient sheeting with UV protection Safflok 700 profile installed as per manufacturers recommendations.

PRIMARY ROOF PITCH - as indicated 05°

All side and apex flashing as per manufacturers details.
Roofing contractor to provide a min. 5 year guarantee for workmanship and watertightness with positive fixing certificate for apex and eaves.

02. VENTILATION LOUVRES
Ventilation louvres consisting of weather resistant louvres with insect screen as per Trox AWK or other approved fixed to aluminium frame to match side cladding.

03. SOLAR PANELS
as per manufacturers specifications to be installed in the same plane as the roof, all piping and fixing mechanisms to be concealed. Frame of panels to match colour of roof.

04. GUTTERS & DOWNPIPES:
Seamless aluminium gutters and downpipes, colour to match roof. Rain water downpipes enclosed in ducts to be PVC, exposed downpipes - aluminium to match building structure.

05. CONCRETE ROOFS:
All concrete roofs slabs and beams strictly as per engineer's details. Waterproofing on screed laid to fall in direction of full-bore outlet. Waterproofing to be provided up and on all parapet walls, and under coping detail. Waterproofing as per suppliers accredited applicator details and specifications, guarantee to be sealed.

06. CEILINGS:
Gypsum ceiling boards to interior - Skimmed with 'RHINOLITE' and painted white as indicated on drawings. Concrete soffit off-shutter unless otherwise specified.

07. WINDOW & DOOR FRAMES:
CHARCOAL GREY powder coated aluminium window frames. All window sills to be plastered. Glazing to comply with PART N OF SANS 10400. (to be read in conjunction with energy efficiency report & window schedule)

08. EXTERNAL WALLS:
To be plastered clay / cement brick masonry
All plaster and paint as per architect's specifications
(a) SMOOTH PLASTER AND PAINT
'Plascon' - DARK ONYX
(b) SMOOTH PLASTER AND PAINT
'Plascon' - MOON BEAM
(c) OFF SHUTTER CONCRETE
'Cercrete Skimmer' - DAWN

09. INTERNAL DRY WALL PARTITIONS:
All dry walls installation as per specialist recommendations. 125mm 'Capoc' or similar approved 120minute fire rated board. with sound 50dB sound insulation.

10. WOOD CLADDING:
Smooth slatted 'BALAU' timber planks 90x19mm to be stained sealed treated as per specialist recommendations. All structural timber elements as per engineer's details and specifications.

11. FLOOR TILES:
Floor tiles as per architect's/owners specifications.

12. POLISHED CONCRETE FLOOR FINISH:
Non-slip polished concrete floor with exposed aggregate and add-on screed hardener as per specialist to floor slabs as specified on drawings.

13. STEEL ELEMENTS:
All steel elements prepared and painted with 2 coats red oxide paint and 3 coats marine grade paint as per engineer's specifications. Colour 'NAVY GREY'

14. BALUSTRADES:
1000m GMS balustrade with GALV mesh insert as per architect's detail to comply with PART D of SANS 10400

15. RETAINING WALLS:
Retaining wall and water proofing including subsoil drainage to engineer's details and specifications. Finish as per architect's specification.

16. FOOTINGS / FOUNDATIONS:
Reinforced Concrete footings to Engineers Details

17. STAIRCASE:
RC Staircase to Engineers details:
Riser @ 170mm / Tread @ 300mm.
Finishes as per architects spec.
To comply with SANS 10400 Part M4.2.5

18. PAVING & DRIVEWAYS
Driveways - clay brick pavers
Parking demarcation - light grey cement cobble
Truck circulation - interlocking pavers
Porous paving to be utilized for stormwater filtration - bedding and layerworks as per engineers specifications
Adequate drainage and catchments to all hardened surfaces as per engineer.

19. EXTERNAL LIGHTING
All LED external lighting to radiate horizontally / upwards or downwards as per architect. Consideration to be given to highly corrosive coastal environments with regard to light fittings.

20. GARDEN ELEMENTS / BOUNDARY WALLS / COPINGS
All freestanding boundary and courtyard walls to have plastered and painted copings with plaster drip detail

21. LANDSCAPING
As per landscape architects specifications

22. GATES, SCREENS & POOL FENCE
'Xpanda' or similar approved anti rust roller shutter doors colour coded to match building.

23. DUCT REMOVABLE ACCESS PANELS
'BALAU' horizontal timber planks stained and sealed, screwed to balau subframe to be made removable for access to duct.

GENERAL NOTES:

All dimensions to be checked on site and any discrepancies to be reported directly to the architect. Dimensions are not to be scaled
All building works to comply with SANS 10400 & All structural works to comply with the engineers drawings and specifications. Any discrepancies with architectural drawings to be reported to the architect

date	revisions
OCCUPANCY D3 - WAREHOUSE	

project description:

NEW WAREHOUSE(S)

property description:
ON LOT 1637, SHAKASHEAD
NORTH POINT INDUSTRIAL
Street Address: Erf 1654 Shakas Head client.

YASSER SULEMAN

drawing description:

ELEVATIONS

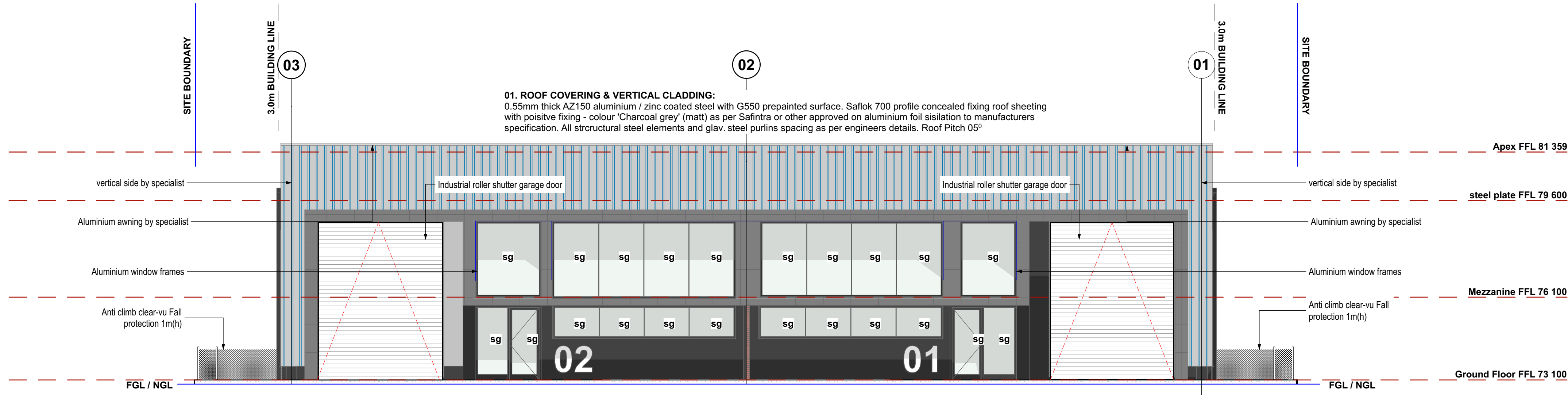
DWG ref. LA - 2022 / 030 - 300 - rev 01
Author Sidesh Rajbali + Kyle Padayachee
Date 24.02.2025
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signatures:

client architect

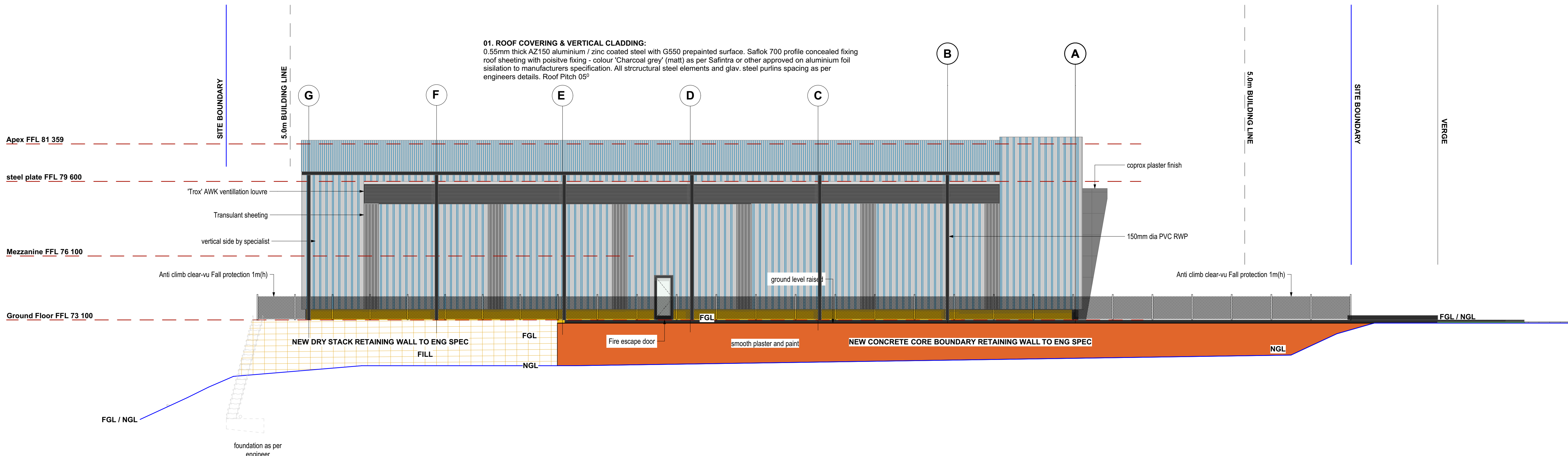
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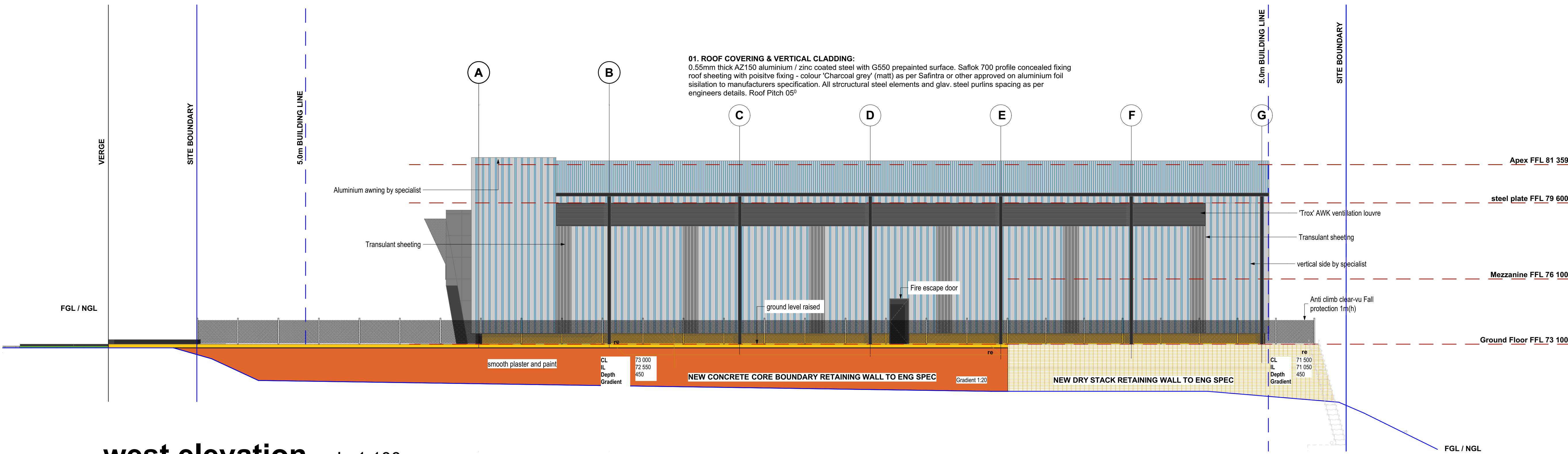
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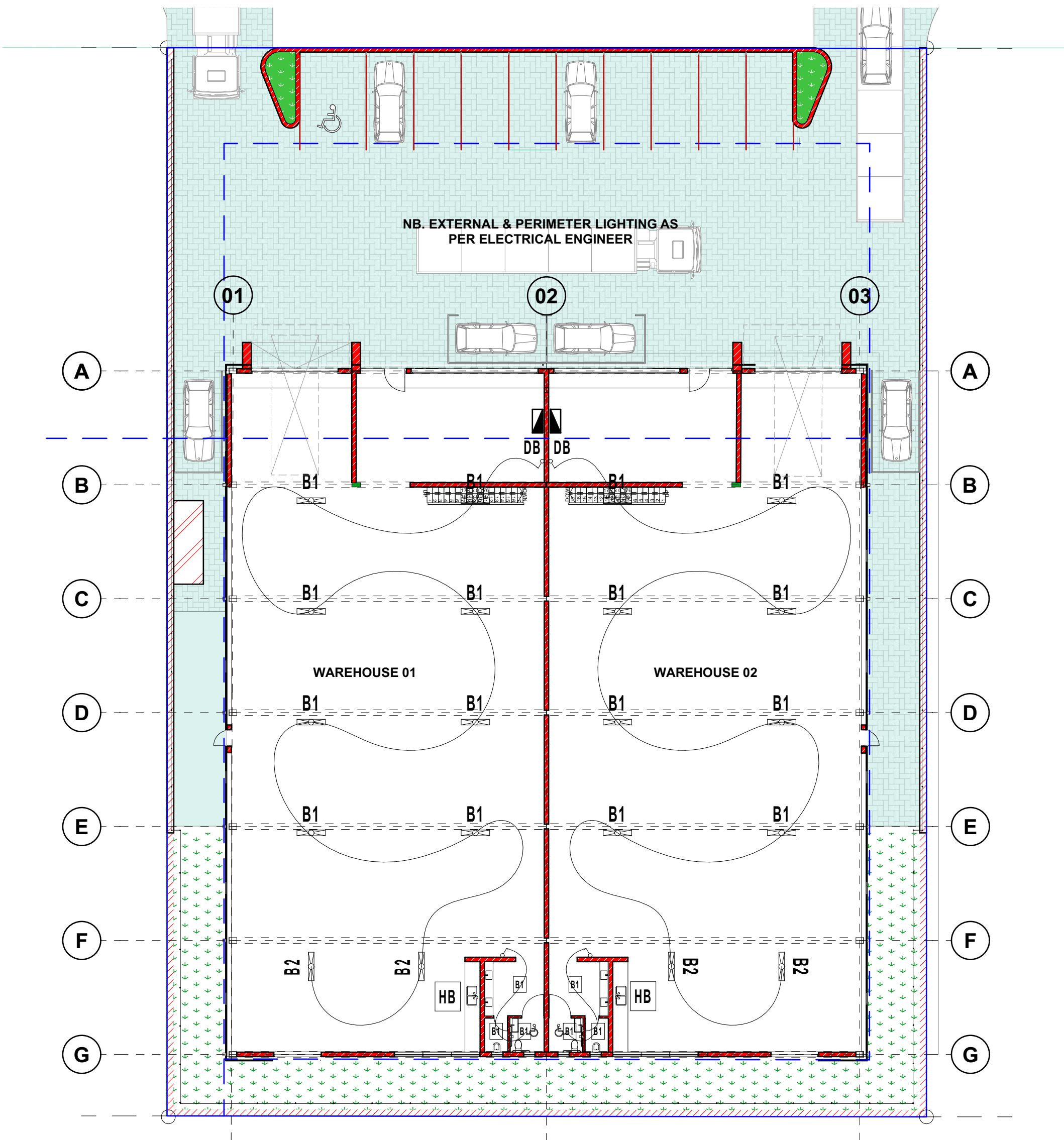
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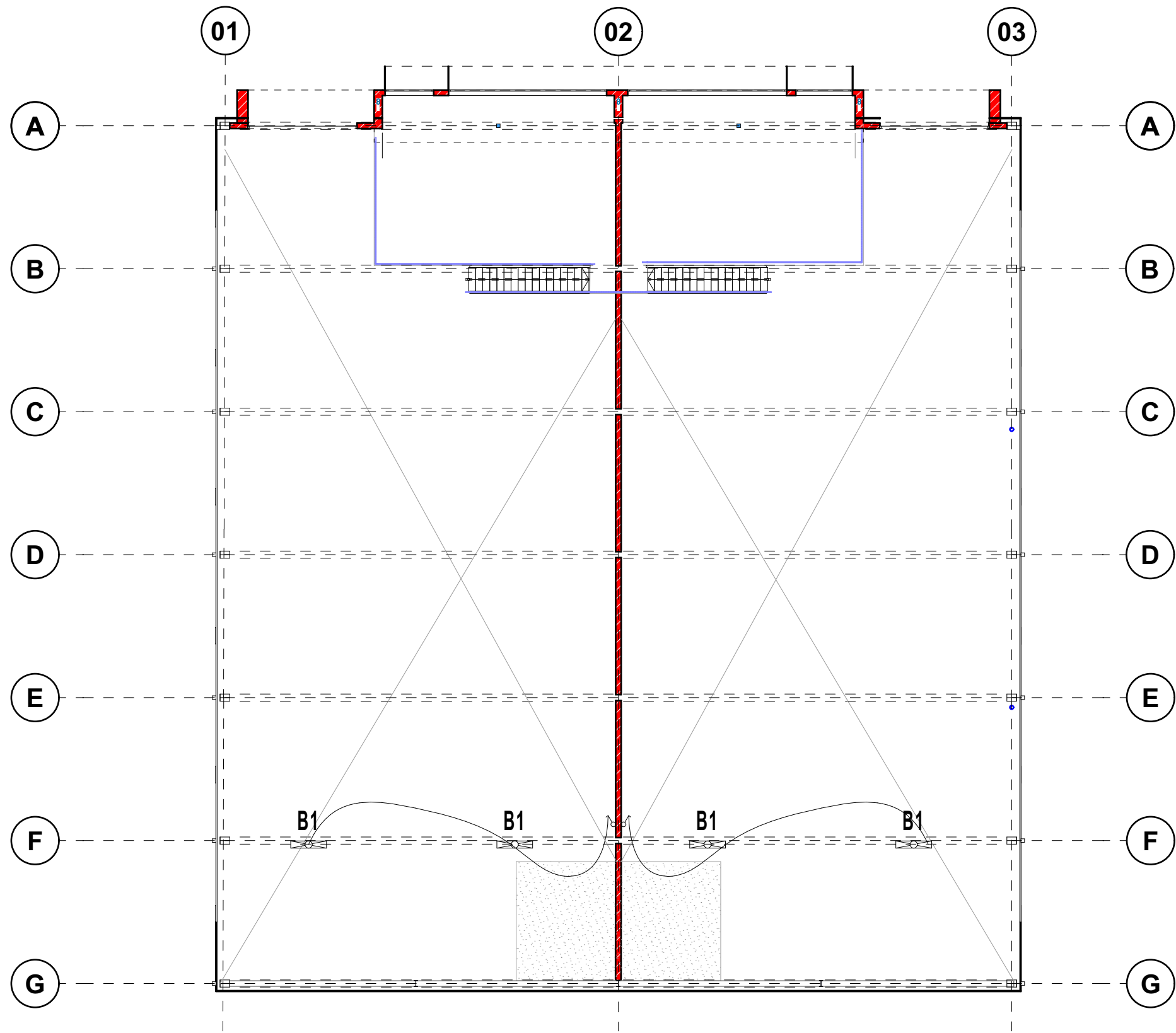
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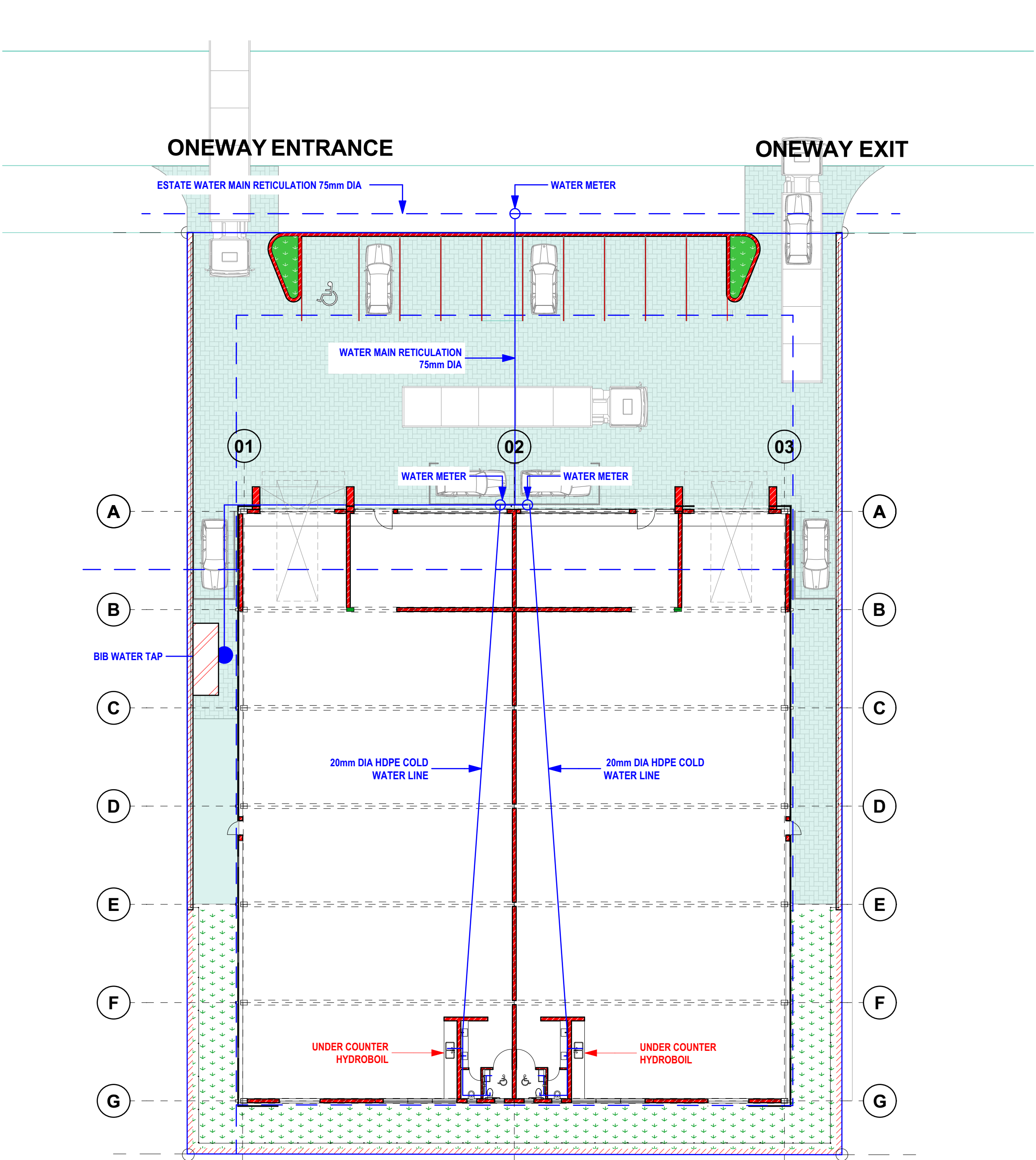
west elevation scale 1:100



ELECTRICAL - ground floor plan scale 1:200



ELECTRICAL - ground floor plan scale 1:200



WATER RETICULATION
ground floor plan scale 1:200

LIGHTING LEGEND	
	1500mm LONG, ENCLOSED, LED VAPOURLINE, 1 X VLN LED 49W LAMP (BEKA)
	1200mm LONG, ENCLOSED, LED VAPOURLINE, 1 X LED 26W LAMP (BEKA)
	1 x 13W LED BULKHEAD FITTING (BEKA)
	SINGLE LEVER WALL SWITCH

POWER LEGEND	
	DOUBLE 16A SWITCHED SOCKET OUTLET (1xSANS 164-2) @ 300mm AFFL UNLESS OTHERWISE STATED.
	HYDROBOIL
	HAND-DRYER
	2 TIER POWER SKIRTING @ 300mm A.G.L (UNLESS OTHERWISE SPECIFIED)
	DISTRIBUTION BOARD

general notes:
All dimensions to be checked on site and any discrepancies to be reported directly to the architect. Dimensions are not to be scaled
All building works to comply with SANS 10400
All structural works to comply with the engineers drawings and specifications. Any discrepancies with architectural drawings to be reported to the architect



OCCUPANCY D3 - LOW RISK INDUSTRIAL

project description:
NEW WAREHOUSE(S)
property description:
ON LOT 1637, SHAKASHEAD - NORTH POINT INDUSTRIAL
Street Address: Erf 1654 Shakas Head
client:
YASSER SULEMAN
drawing description:
WATER RETICULATION + ELECTRICAL SCHEDULE
DWG ref. LA - 2022 / 030 - 500 - rev 00
Author Sidesh Rajballi + Kyle Padayachee
Date 24.02.2025
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signatures:

client architect