

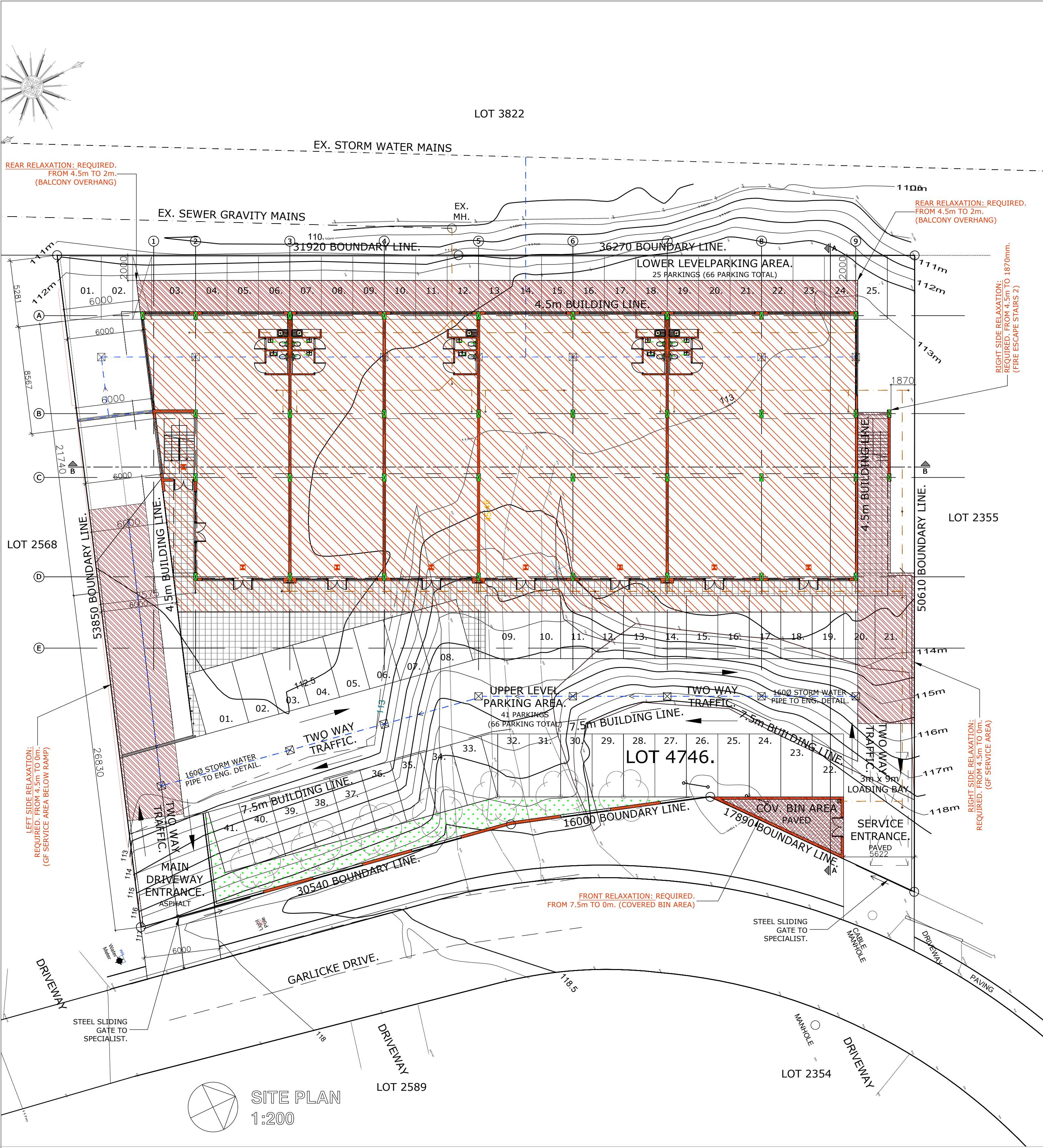


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RELAXATION DRAWINGS FOR PROPOSED NEW
WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR
GURUVADU INVESTMENTS PROPRIETARY LIMITED ON
ERF 4746, 3 GARLICKE DRIVE, BALLITOVILLE.





ZONING: CORE MIX USE 4
HEIGHT RESTRICTION: 3 STOREYS
AREA SITE: 3089m²
ALLOWABLE COVERAGE (70%): 2162.3m²
PROPOSED COVERAGE: 1842.14m²
ALLOWABLE FAR: (1.0) : 3089m²
PROPOSED FAR: 3071.2m²

GROUND FLOOR -
J2 - WAREHOUSE STORAGE UNITS 1 TO 5: 1000.52m² (FAR)
COVERED ROAD AREA: 374.13m² (NOT FAR)
COVERED WALKWAY AREA: 68.12m² (NOT FAR)
STAIR 1: 16.82m² (NOT FAR)
STAIR 2: 14.51m² (NOT FAR)
SERVICE 1: 141.94m² (NOT FAR)
SERVICE 2: 54.3m² (NOT FAR)
TOTAL GROUND FLOOR: 1670.34m²

FIRST FLOOR -
F2 - RETAIL UNITS 1 TO 4: 834.2m² (FAR)
J2 - WAREHOUSE STORAGE UNIT 6: 323.86 (FAR)
COVERED WALKWAY: 153.99m² (NOT FAR)
OPEN WALKWAY: 18.98m² (NOT FAR)
STAIR 1: 14.63m² (NOT FAR)
STAIR 2: 14.51m² (NOT FAR)
TOTAL FIRST FLOOR: 1360.17m²

SECOND FLOOR -
G1 - OFFICE UNITS 1 TO 14: 912.62m² (FAR)
BALCONY'S 1 TO 7: 135.58m² (NOT FAR)
BALCONY'S 8 TO 14: 143.01m² (NOT FAR)
COVERED WALKWAY: 230.66m² (NOT FAR)
ABLUTIONS: 34.6m² (NOT FAR)
STAIR 1: 12.8m² (NOT FAR)
STAIR 2: 13.98m² (NOT FAR)
TOTAL SECOND FLOOR: 1483.25m²

TOTAL ALL: 4513.76m²

PARKING ACCOMMODATION REQUIREMENTS:

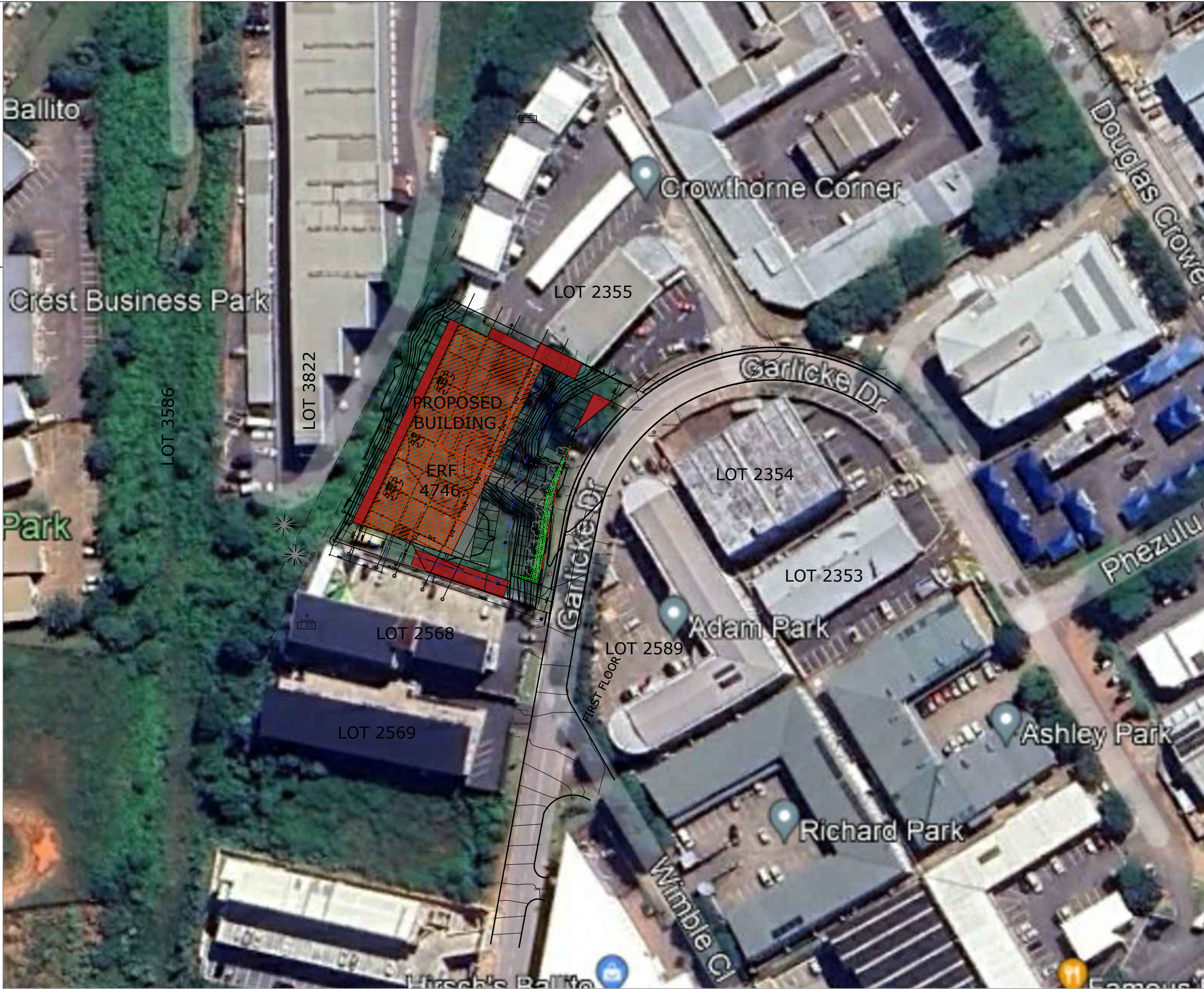
WAREHOUSE STORAGE: 1341.25m² / 140 = 9,580357142857143
9,580357142857143 x 1 = 10 PARKING BAYS REQUIRED.

RETAIL SHOP: 834.2m² / 100 = 8.342
8.342 x 4 = 33.368 (33) PARKING BAYS REQUIRED.

OFFICE UNITS: 912.61m² / 50 = 18.2522
18.2522 x 1 = 18.2522 (18) PARKING BAYS REQUIRED.

TOTAL PARKING BAYS REQUIRED: 61.
PARKING BAYS PROVIDED: 66.
ADDITIONAL BAYS PROVIDED: 5

DISABLED PARKING BAYS: 4 OFF
9m x 3m LOADING BAY: 2 OFF



LOCALITY PLAN
1:2000

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REGISTERED PROPERTY OWNER



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PROJECT: PROPOSED NEW WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR GURUVADU INVESTMENTS PROPRIETARY LIMITED ON ERF 4746, GARLICK DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: SITE PLAN 1:200. LOCALITY PLAN 1:500 AREA & PARKING CALCS

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE F2 - SMALL SHOP G1 - OFFICES

AUTHOR: BBS

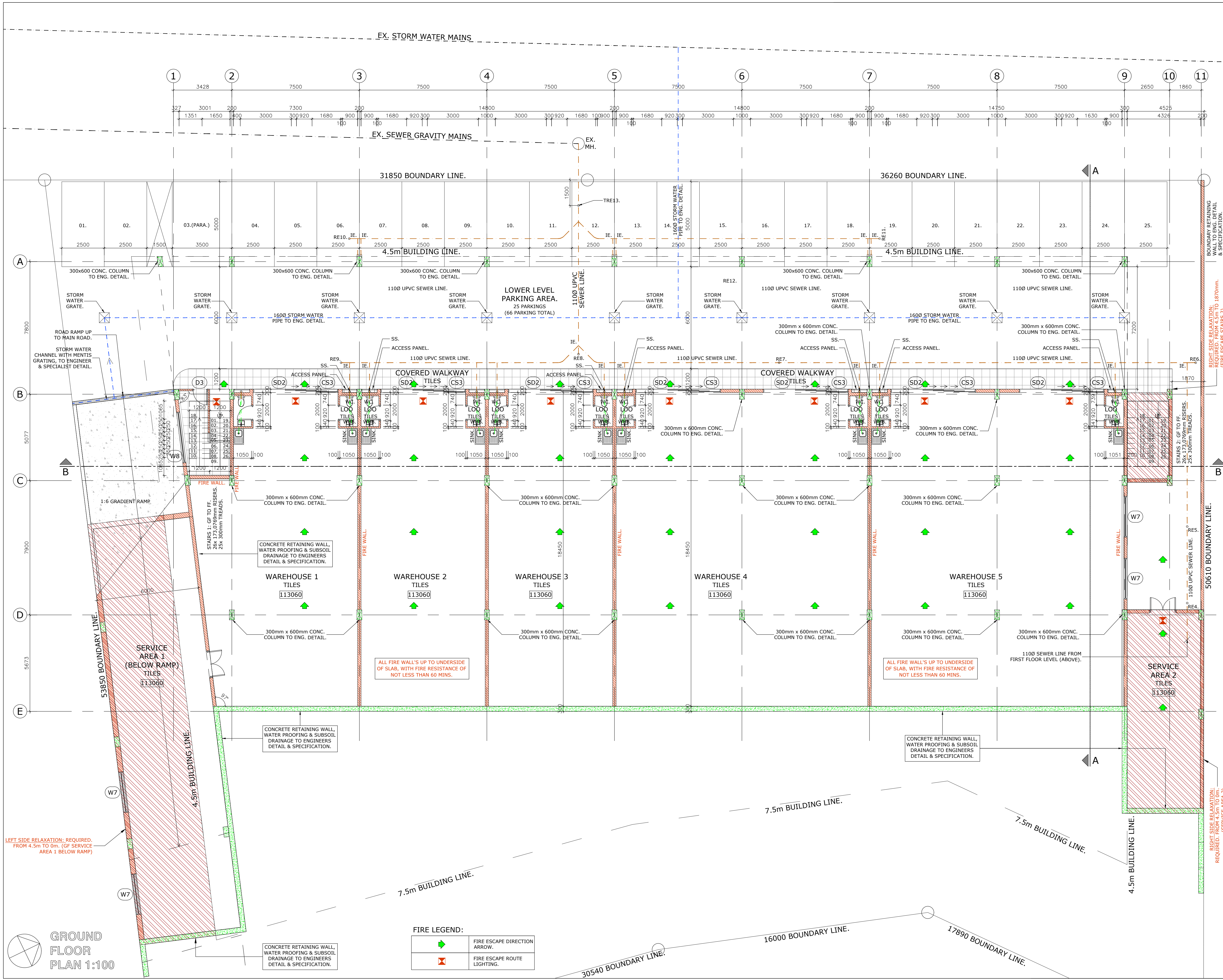
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PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-100 SHEET: 1 OF 8

DATE: 27/08/2025 REVISION: 0



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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: GROUND FLOOR PLAN 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-200 SHEET: 2 OF 8

DATE: 27/08/2025 REVISION: 0



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RETAIL & OFFICE UNITS FOR GURUVADU
INVESTMENTS PROPRIETARY LIMITED ON
ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: FIRST FLOOR PLAN 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PrARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022	P/A PLAN NO: NA
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DRAWING NO.: KZN25-SUB01-201 **SHEET:** 3 OF 8

DATE: 27/08/2025 REVISION: 0

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CLIENT: GURUVADU INVESTMENTS PROPRIETARY
LIMITED.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PrARCH 24743077

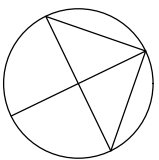
PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.:	CCA25/022	P/A PLAN NO:	NA
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DRAWING NO.: KZN25-SUB01-202 **SHEET:** 4 OF 5

SHEET: 4 OF 5

FIRE LEGEND:



SECOND
FLOOR
PLAN 1:100

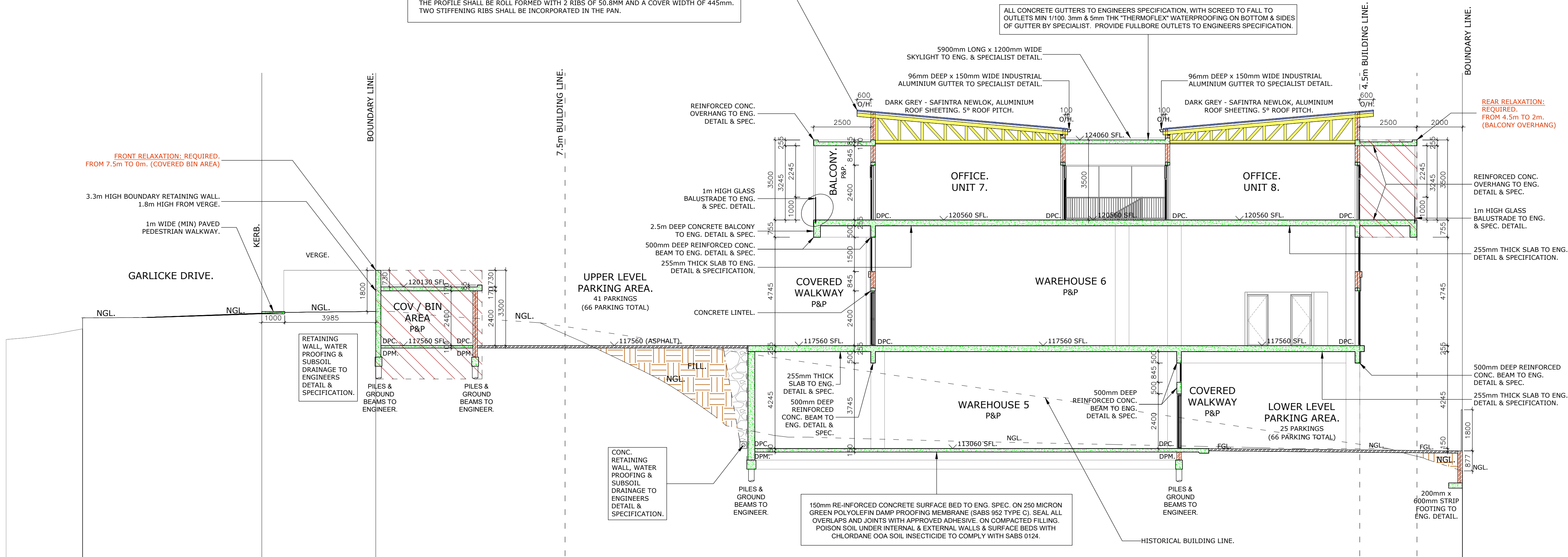
GENERIC INSULATION PRODUCT: FLEXIBLE MINERAL/ROCKWOOL
60 TO 120KG/M³ DENSITY
0,033 THERMAL CONDUCTIVITY
100mm THICKNESS

SISOLATION:
420 UNDER ROOF BATTENS. ROOF WATER RESISTANT UNDERLAY.

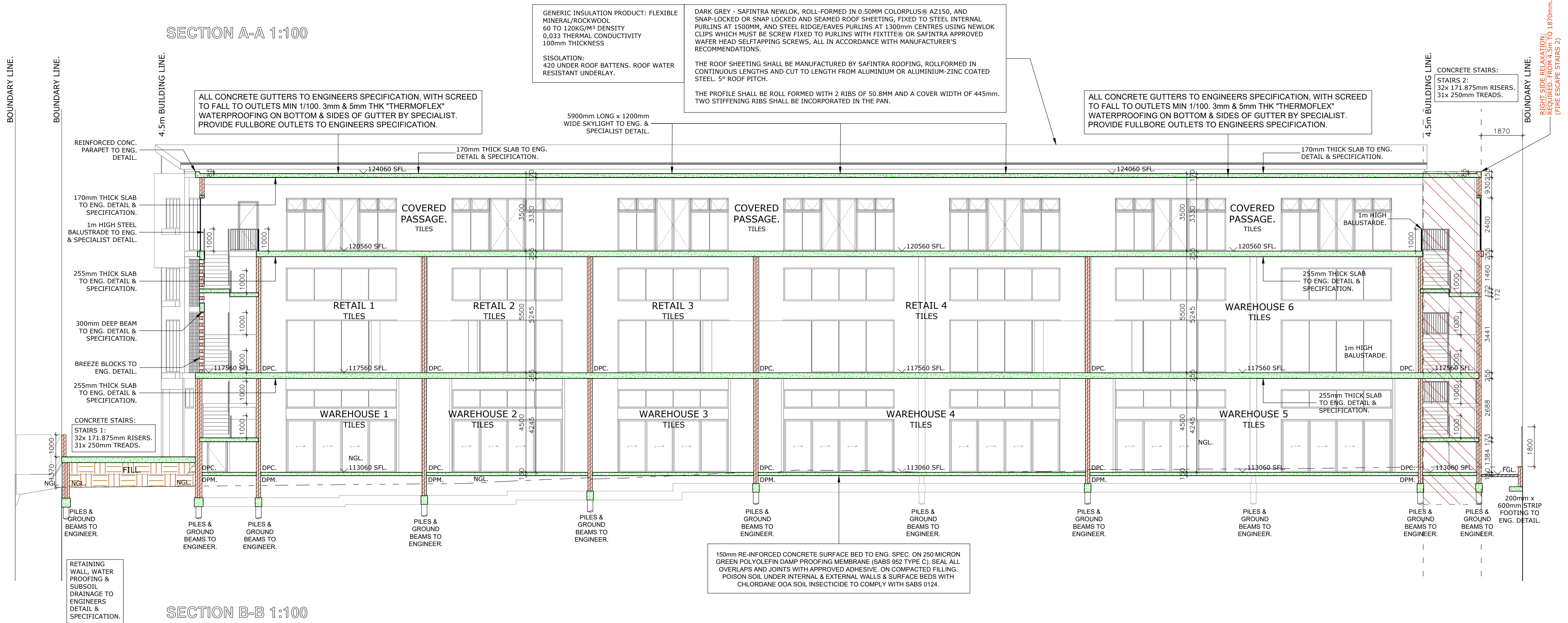
DARK GREY - SAFINTRA NEWLOK, ROLL-FORMED IN 0.50MM COLORPLUS® AZ150, AND SNAP-LOCKED OR SNAP LOCKED AND SEAMED ROOF SHEETING, FIXED TO STEEL INTERNAL PURLINS AT 1500MM, AND STEEL RIDGE/EAVES PURLINS AT 1300mm CENTRES USING NEWLOK CLIPS WHICH MUST BE SCREW FIXED TO PURLINS WITH FIXTITE® OR SAFINTRA APPROVED WAFER HEAD SELFTAPPING SCREWS, ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

THE ROOF SHEETING SHALL BE MANUFACTURED BY SAFINTRA ROOFING, ROLLFORMED IN CONTINUOUS LENGTHS AND CUT TO LENGTH FROM ALUMINIUM OR ALUMINIUM-ZINC COATED STEEL. 5° ROOF PITCH.

THE PROFILE SHALL BE ROLL FORMED WITH 2 RIBS OF 50.8MM AND A COVER WIDTH OF 445mm. TWO STIFFENING RIBS SHALL BE INCORPORATED IN THE PAN.



SECTION A-A 1:100



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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: SECTIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

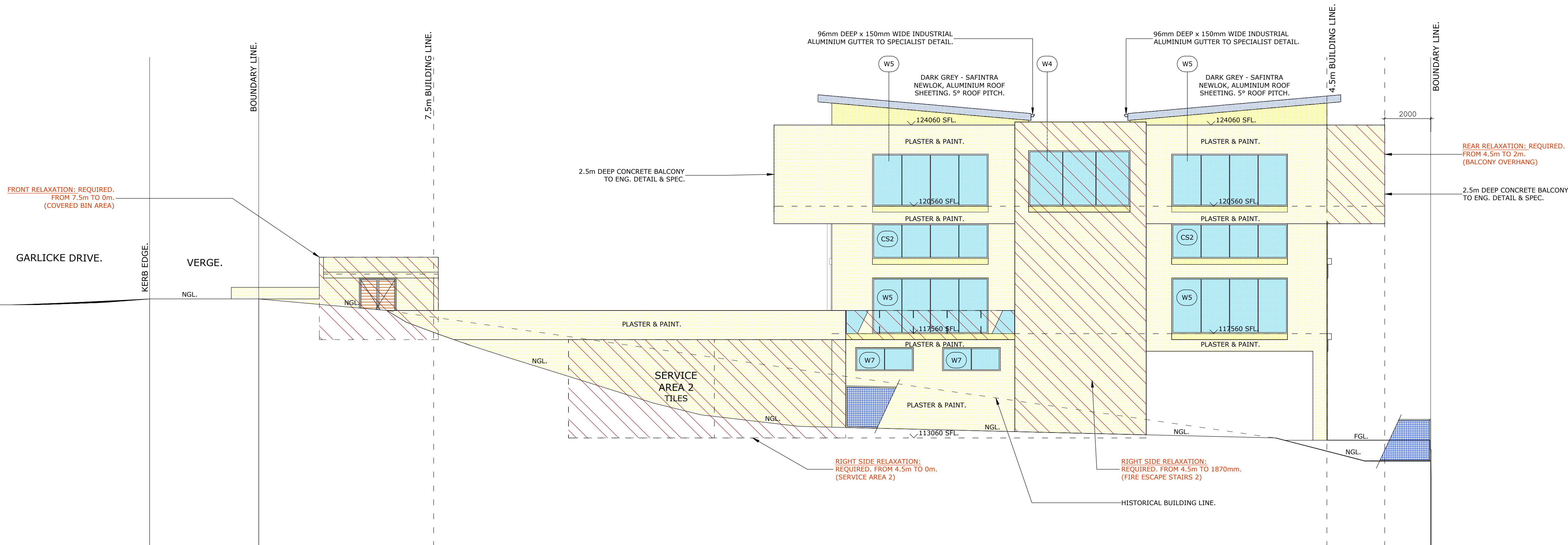
PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

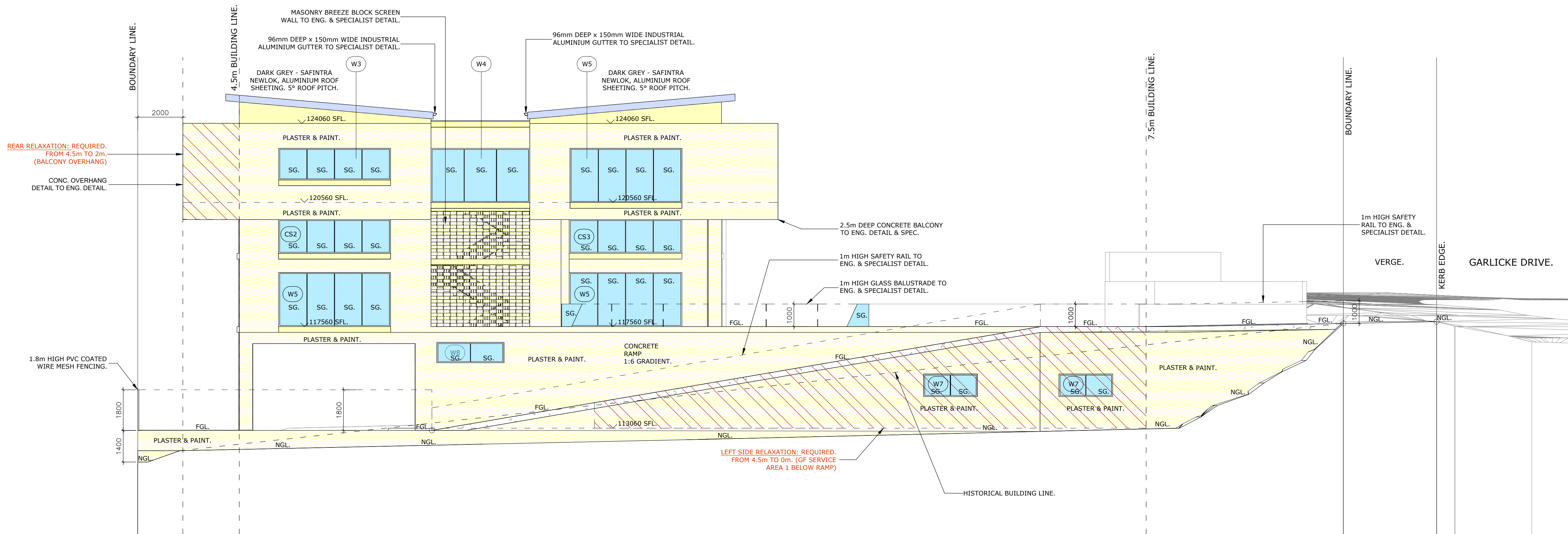
DRAWING NO.: KZN25-SUB01-300 SHEET: 5 OF 8

DATE: 27/08/2025 REVISION: 0

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EAST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: ELEVATIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-400 SHEET: 6 OF 8

DATE: 27/08/2025 REVISION: 0

BOUNDARY LINE.

BOUNDARY LINE.

4.5m BUILDING LINE.

4.5m BUILDING LINE.

BOUNDARY LINE.

LEFT SIDE RELAXATION:
REQUIRED, FROM 4.5m
TO 0m. (GF SERVICE
AREA 1 BELOW RAMP)

RIGHT SIDE RELAXATION:
REQUIRED, FROM 4.5m
TO 0m. (GF SERVICE
AREA 2 BELOW RAMP)

BOUNDARY LINE.
RIGHT SIDE RELAXATION:
REQUIRED, FROM 4.5m TO 1870mm.
(FIRE ESCAPE STAIRS 2)

BOUNDARY LINE.

SOUTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100

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ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY
LIMITED.

DRAWING DESCRIPTION: ELEVATIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

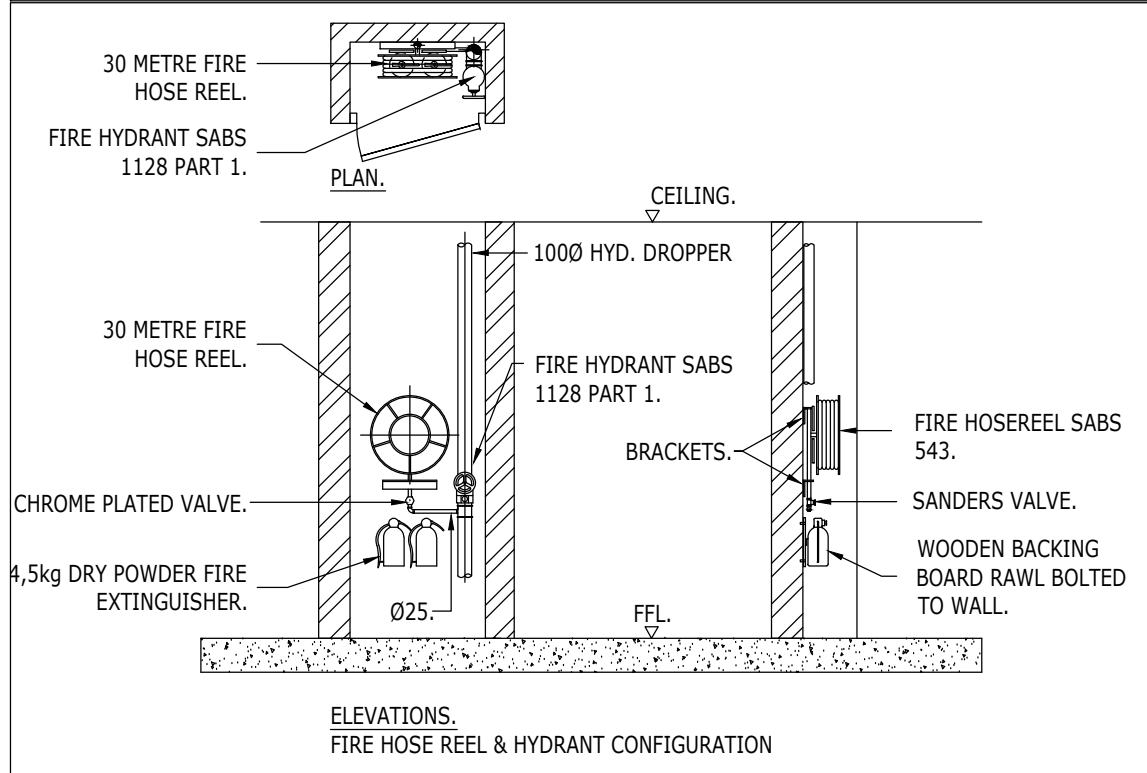
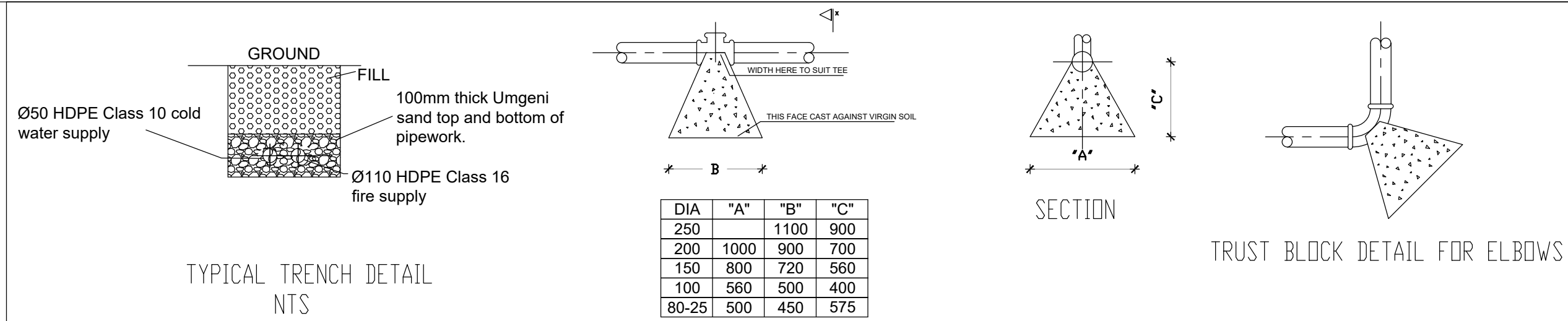
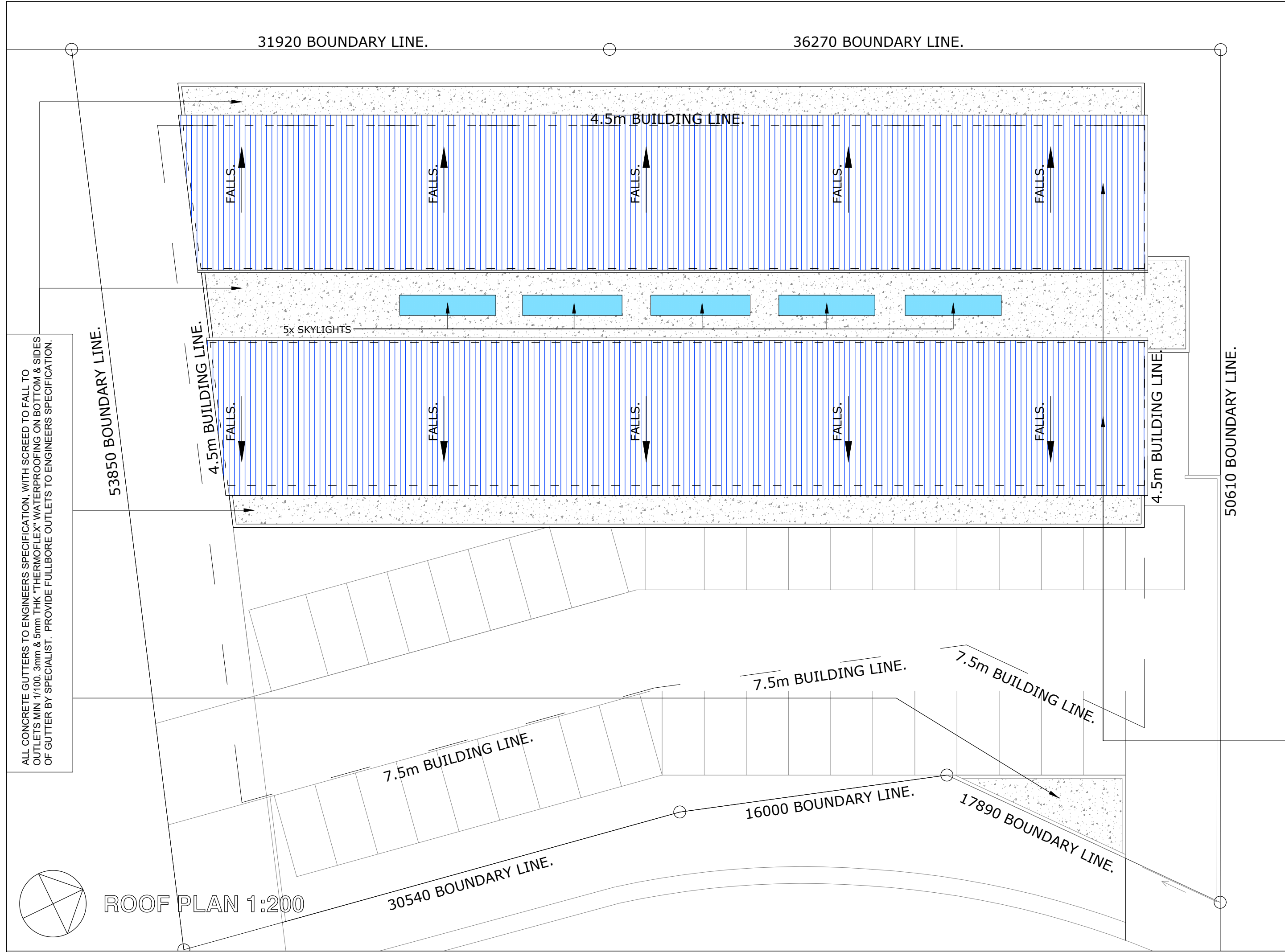
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PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 **P/A PLAN NO:** NA

DRAWING NO.: KZN25-SUB01-401 **SHEET:** 7 OF 8

DATE: 27/08/2025 **REVISION:** 0



FIRE NOTE - FIRE SIGNAGE:

1. FIRE SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS CONTAINED IN SABS 1186.
2. MINIMUM FIRE SIGNAGE SIZE = 150mm
3. ALL FIRE SIGNAGE TO BE PHOTO ILLUMINESCENT.
4. ILLUMINATED EXIT SIGNS BY ELECTRICAL ENGINEER.
5. THE FIRE SIGNAGE IS INDICATIVE ONLY. ACTUAL DIRECTIONS/ORIENTATIONS ETC. TO BE DETERMINED ON SITE.

FIRE NOTE: FLOW & PRESSURE FOR FIRE WATER RETICULATION

1. WATER RETICULATION FOR FIRE TO COMPLY WITH SANS 10400 PART - W. 4.2, 4.3, 4.4 & 4.5.
2. WATER FLOW OF AT LEAST 1200L / MIN. AT A RUNNING PRESSURE OF 300 kPa, PER HYDRANT.
3. OWNER TO CONDUCT THEIR OWN REGULAR FLOW AND PRESSURE TESTS WITH A SPECIALIST TO ENSURE THE EFFICACY OF THE WATER BORNE FIRE - FIGHTING SYSTEMS CAPABILITIES.

FIRE NOTE: 4.6 SANS 10400 - T

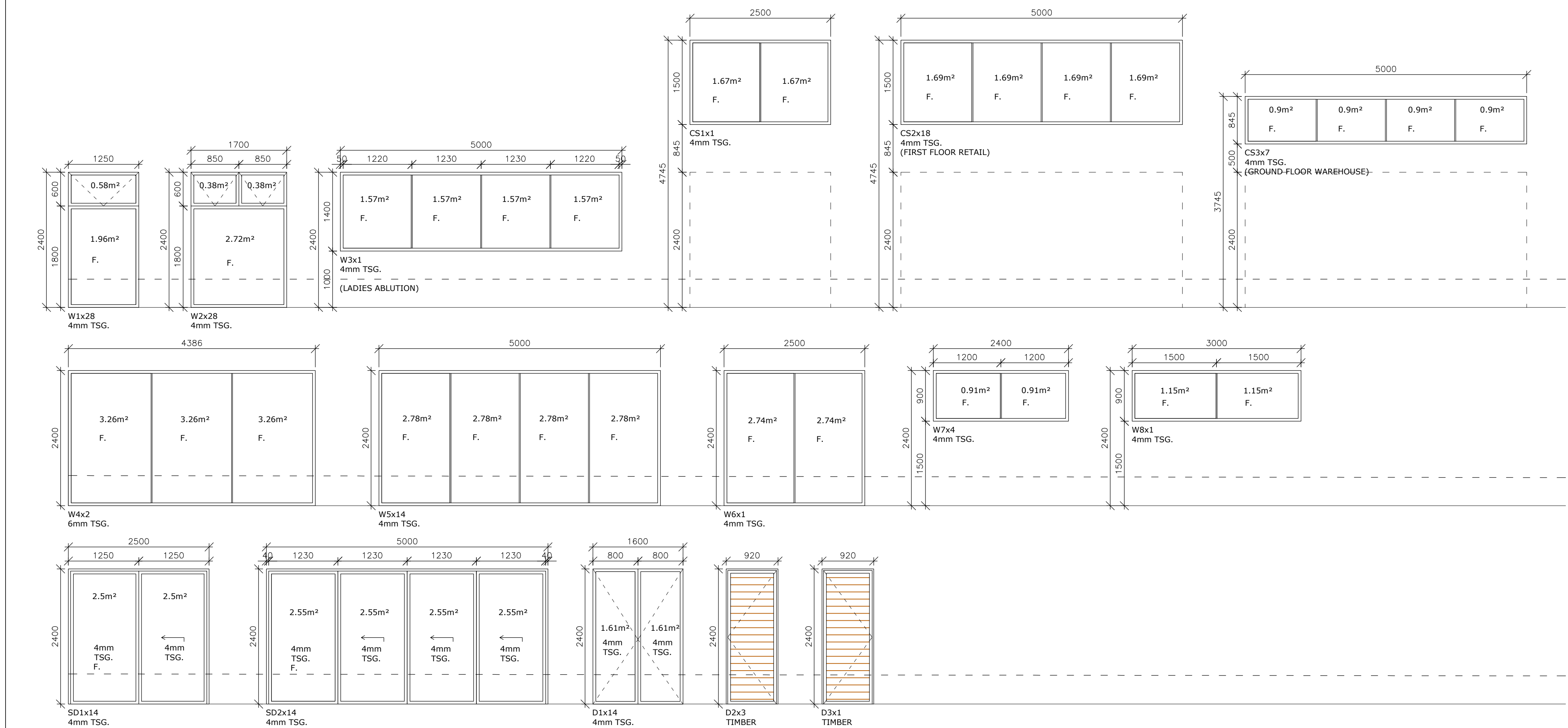
BUILDING TO COMPLY WITH RULE 4.6 - FIRE RESISTANCE OF OCCUPANCY - SEPARATING AND DIVISION - SEPARATING ELEMENTS.

90 MINUTE FIRE WALL UP TO UNDERSIDE SLAB BETWEEN WAREHOUSE 2 AND RETAIL SHOP 1. TO COMPLY WITH RULE 4.6. (SANS 10400 - T).

FIRE NOTES:

OCCUPANCY CLASSIFICATION - J2, H3 & G1. SANS 10400-T:2022

1. SAFETY DISTANCES - 4.2.
2. DIVISION AREA - 4.3.
3. FIRE PERFORMANCE - 4.5.
4. FIRE RESISTANCE OF OCCUPANCY & DIVISION SEPARATING ELEMENTS PER - 4.6.
5. FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS TO COMPLY WITH - 4.7.
6. TENANCY-SEPARATING ELEMENTS - 4.8.
7. PARTITIONS & PARTITION WALLS - 4.9.
8. PROTECTION OF OPENINGS - 4.10.
9. ROOF ASSEMBLIES AND COVERINGS - 4.12.
10. CEILINGS TO COMPLY WITH 4.13.
11. FLOOR COVERINGS AS PER 4.14.
12. WALL FINISHES AS PER 4.15.
13. PROVISION OF ESCAPES TO COMPLY WITH 4.16.
14. EXIT DOORS TO COMPLY WITH 4.17.
15. LOOKS TO ESCAPE & ACCESS DOORS TO COMPLY WITH 4.19.
16. DIMENSION OF COMPONENTS OF ESCAPE ROUTES TO 4.20.
17. WIDTH OF ESCAPE ROUTES TO 4.21.
18. MARKING AND SIGNPOSTING - 4.29.
19. EMERGENCY LIGHTS TO COMPLY WITH 4.30.
20. BUILDING TO COMPLY WITH FIRE DETECTION IN ACCORDANCE WITH 4.31.
21. PROVISION & MAINTENANCE OF FIRE-FIGHTING EQUIPMENT, INSTALLATIONS & FIRE PROTECTION SYSTEMS 4.32.
22. FHR'S TO COMPLY WITH 4.34.
23. HYDRANTS TO BE PROVIDED IN ACCORDANCE WITH 4.35.
24. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH 4.37.
25. FIRE-STOPPING OF INACCESSIBLE COMPLY WITH 4.39.
26. SERVICES IN STRUCTURAL OR SEPARATING ELEMENTS TO 4.40.
32. SMOKE CONTROL-TO COMPLY WITH 4.42.
33. AIRCONDITIONING & ARTIFICAL SYSTEMS TO COMPLY WITH 4.43.
34. ACCESS FOR FIRE FIGHTING & RESCUE PURPOSE TO 4.54.
35. ALL FIRE ESCAPE DOORS TO BE FITTED WITH PUSH BARS & FIRE RATED SELF CLOSERS
36. ALL FIRE WALLS TO BE BUILT TO UNDERSIDE SLAB/ ROOF.
37. GENERATOR TO FEED ALL LIGHTING, SMOKE FANS, AIRCONDITIONING & FIRE DETECTION SYSTEMS.
38. ALL AIRCONDITIONING PLANT TO SHUT DOWN IN THE EVENT OF FIRE. A NORMALLY CLOSED SIGNAL SHALL FEED ALL AIRCONDITIONING/ FIRE PANELS. IN THE EVENT OF SMOKE/ FIRE THIS WILL SHUT DOWN AIRHANDLING UNITS & ACTIVATE SMOKE EXTRACT FANS.
39. WATER RETICULATION FOR FIRE TO COMPLY WITH PART-W. 4.2, 4.3, 4.4 & 4.5.



BUILDING CLASSIFICATION:

OCCUPANCY: J2, F2 & G1
DESIGN OCCUPANCY TIME: 12 HOURS PER DAY
CLIMATIC ZONE: 5 (DURBAN)

FLOOR CONSTRUCTION 1: CONCRETE SLAB ON GROUND FLOOR

1. NO IN-SLAB HEATING
2. NO PERIMETER INSULATION REQUIRED
3. NO UNDER-FLOOR INSULATION REQUIRED

FLOOR CONSTRUCTION 2: SUSPENDED FLOOR (FIRST FLOOR)

1. NO IN-SLAB HEATING
2. NO INSULATION OF UNENCLOSED PERIMETER REQUIRED
3. NO PERIMETER & UNDER-FLOOR INSULATION REQUIRED

FLOOR CONSTRUCTION 3: SUSPENDED FLOOR (SECOND FLOOR)

1. NO IN-SLAB HEATING
2. NO INSULATION OF UNENCLOSED PERIMETER REQUIRED
3. NO PERIMETER & UNDER-FLOOR INSULATION REQUIRED

BUILDING ORIENTATION:

LIVING AREA & DOMINANT WINDOWS OF HABITABLE ROOMS ARE SOUTH FACING.

EXTERNAL WALL CONSTRUCTION: MASONRY

1. 200mm DOUBLE SKIN, MASONRY WALL, WITH NO CAVITY, PLASTER & PAINTED BOTH SIDES.
2. MIN R-VALUE REQUIRED: 0.35
3. MIN CR-VALUE REQUIRED: 60 HOURS.

AIR INFILTRATION AND LEAKAGE:

1. INTERNAL CHIMNEYS AND FLUES - NONE
2. ROOF LIGHTS AND SKYLIGHTS - NONE
3. EXTERNAL DOORS - REFER SANS 204 (4.4.3) - DOOR SEALS / DRAUGHT PROTECTION.
4. ROOF, WALLS & FLOORS - CONDITIONED SPACE - REFER SANS 204 (4.4.2) - CONSTRUCTION TO MINIMISE AIR LEAKAGE.

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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: WINDOW/DOOR SCHEDULE 1:50. ENERGY EFFICIENCY. SANS 10400 PART N. FIRE.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE F2 - SMALL SHOP G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PRARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 **P/A PLAN NO:** NA

DRAWING NO.: KZN25-SUB01-500 **SHEET:** 8 OF 8

DATE: 27/08/2025 **REVISION:** 0