

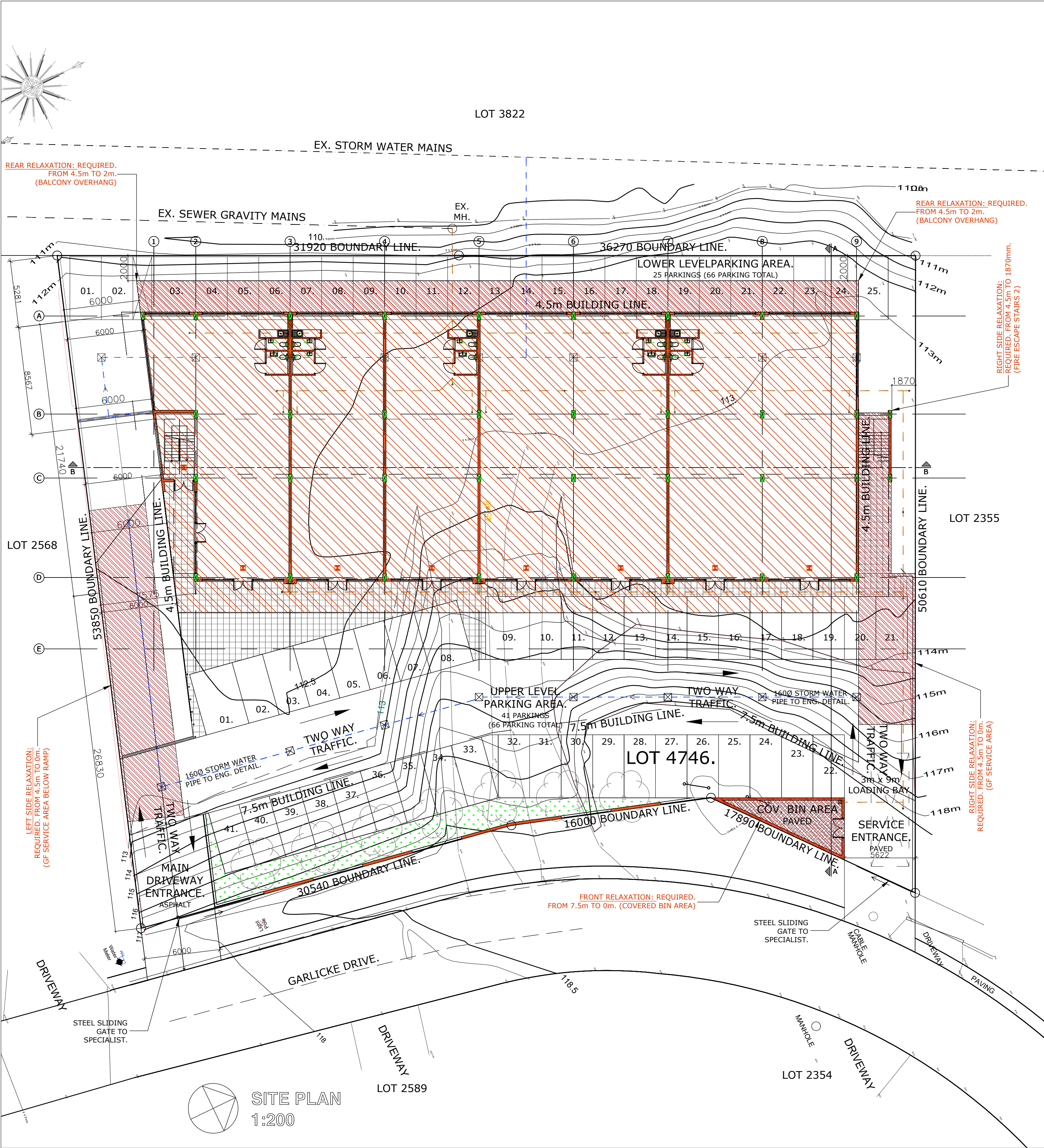


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RELAXATION DRAWINGS FOR PROPOSED NEW
WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR
GURUVADU INVESTMENTS PROPRIETARY LIMITED ON
ERF 4746, 3 GARLICKE DRIVE, BALLITOVILLE.





ZONING: CORE MIX USE 4
HEIGHT RESTRICTION: 3 STOREYS
AREA SITE: 3089m²
ALLOWABLE COVERAGE (70%): 2162.3m²
PROPOSED COVERAGE: 1842.14m²
ALLOWABLE FAR: (1.0) : 3089m²
PROPOSED FAR: 3071.2m²

GROUND FLOOR -
J2 - WAREHOUSE STORAGE UNITS 1 TO 5: 1000.52m² (FAR)
COVERED ROAD AREA: 374.13m² (NOT FAR)
COVERED WALKWAY AREA: 68.12m² (NOT FAR)
STAIR 1: 16.82m² (NOT FAR)
STAIR 2: 14.51m² (NOT FAR)
SERVICE 1: 141.94m² (NOT FAR)
SERVICE 2: 54.3m² (NOT FAR)
TOTAL GROUND FLOOR: 1670.34m²

FIRST FLOOR -
F2 - RETAIL UNITS 1 TO 4: 834.2m² (FAR)
J2 - WAREHOUSE STORAGE UNIT 6: 323.86 (FAR)
COVERED WALKWAY: 153.99m² (NOT FAR)
OPEN WALKWAY: 18.98m² (NOT FAR)
STAIR 1: 14.63m² (NOT FAR)
STAIR 2: 14.51m² (NOT FAR)
TOTAL FIRST FLOOR: 1360.17m²

SECOND FLOOR -
G1 - OFFICE UNITS 1 TO 14: 912.62m² (FAR)
BALCONY'S 1 TO 7: 135.58m² (NOT FAR)
BALCONY'S 8 TO 14: 143.01m² (NOT FAR)
COVERED WALKWAY: 230.66m² (NOT FAR)
ABLUTIONS: 34.6m² (NOT FAR)
STAIR 1: 12.8m² (NOT FAR)
STAIR 2: 13.98m² (NOT FAR)
TOTAL SECOND FLOOR: 1483.25m²

TOTAL ALL: 4513.76m²

PARKING ACCOMMODATION REQUIREMENTS:

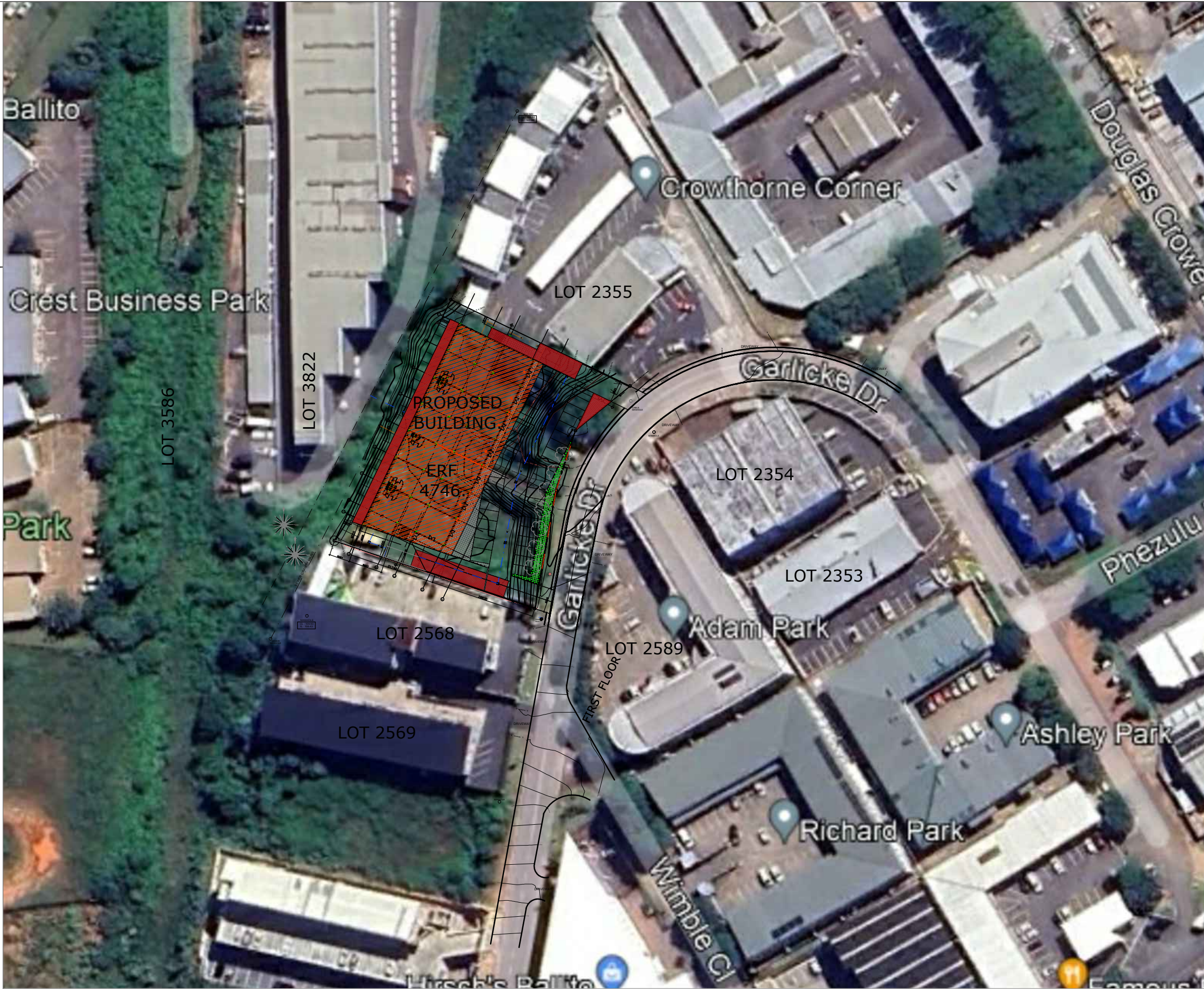
WAREHOUSE STORAGE: 1341.25m² / 140 = 9,580357142857143
9,580357142857143 x 1 = 10 PARKING BAYS REQUIRED.

RETAIL SHOP: 834.2m² / 100 = 8.342
8.342 x 4 = 33.368 (33) PARKING BAYS REQUIRED.

OFFICE UNITS: 912.61m² / 50 = 18.2522
18.2522 x 1 = 18.2522 (18) PARKING BAYS REQUIRED.

TOTAL PARKING BAYS REQUIRED: 61.
PARKING BAYS PROVIDED: 66.
ADDITIONAL BAYS PROVIDED: 5

DISABLED PARKING BAYS: 4 OFF
9m x 3m LOADING BAY: 2 OFF



LOCALITY PLAN
1:2000

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COUNCIL STAMP

ARCHITECT

REGISTERED PROPERTY OWNER



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PROJECT: PROPOSED NEW WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR GURUVADU INVESTMENTS PROPRIETARY LIMITED ON ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: SITE PLAN 1:200. LOCALITY PLAN 1:500 AREA & PARKING CALCS

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE F2 - SMALL SHOP G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-100 SHEET: 1 OF 8

DATE: 27/08/2025 REVISION: 0



FIRE LEGEND:	
	FIRE ESCAPE DIRECTION ARROW.
	FIRE ESCAPE ROUTE LIGHTING.

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PROJECT: PROPOSED NEW WAREHOUSE STORAGE,
RETAIL & OFFICE UNITS FOR GURUVADU
INVESTMENTS PROPRIETARY LIMITED ON
ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: GROUND FLOOR PLAN 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PrARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.:	CCA25/022	P/A PLAN NO:	NA
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DRAWING NO.: KZN25-SUB01-200 **SHEET:** 2 OF 8

SHEET: 2 OF 8



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PROJECT: PROPOSED NEW WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR GURUVADU INVESTMENTS PROPRIETARY LIMITED ON ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: FIRST FLOOR PLAN 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE P/ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

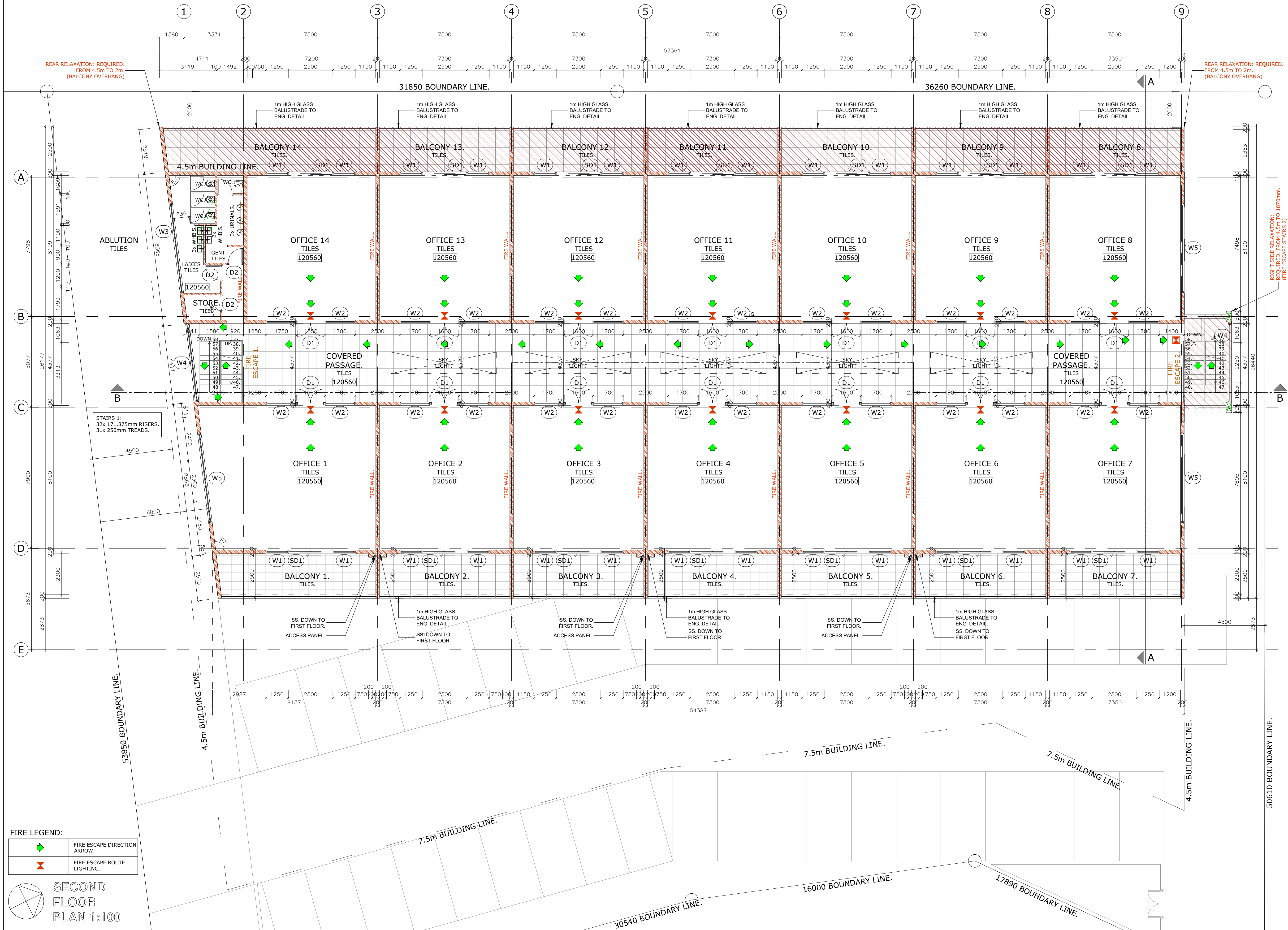
DRAWING NO.: KZN25-SUB01-201 SHEET: 3 OF 8

DATE: 27/08/2025 REVISION: 0

ALL FIRE WALL'S UP TO UNDERSIDE OF ROOF, WITH FIRE RESISTANCE OF NOT LESS THAN 60 MINS.

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PROJECT: PROPOSED NEW WAREHOUSE STORAGE, RETAIL & OFFICE UNITS FOR GURUVADU INVESTMENTS PROPRIETARY LIMITED ON ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: SECOND FLOOR PLAN 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE P/ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 **P/A PLAN NO:** NA

DRAWING NO.: KZN25-SUB01-202 **SHEET:** 4 OF 8
DATE: 27/08/2025 **REVISION:** 0

GENERIC INSULATION PRODUCT: FLEXIBLE MINERAL/ROCKWOOL
60 TO 120KG/M³ DENSITY
0,033 THERMAL CONDUCTIVITY
100mm THICKNESS

SISOLATION:
420 UNDER ROOF BATTENS. ROOF WATER RESISTANT UNDERLAY.

DARK GREY - SAFINTRA NEWLOK, ROLL-FORMED IN 0.50MM COLORPLUS® AZ150, AND SNAP-LOCKED OR SNAP LOCKED AND SEAMED ROOF SHEETING, FIXED TO STEEL INTERNAL PURLINS AT 1500MM, AND STEEL RIDGE/EAVES PURLINS AT 1300mm CENTRES USING NEWLOK CLIPS WHICH MUST BE SCREW FIXED TO PURLINS WITH FIXTITE® OR SAFINTRA APPROVED WAFER HEAD SELFTAPPING SCREWS, ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

THE ROOF SHEETING SHALL BE MANUFACTURED BY SAFINTRA ROOFING, ROLLFORMED IN CONTINUOUS LENGTHS AND CUT TO LENGTH FROM ALUMINIUM OR ALUMINIUM-ZINC COATED STEEL. 5° ROOF PITCH.

THE PROFILE SHALL BE ROLL FORMED WITH 2 RIBS OF 50.8MM AND A COVER WIDTH OF 445mm. TWO STIFFENING RIBS SHALL BE INCORPORATED IN THE PAN.

ALL CONCRETE GUTTERS TO ENGINEERS SPECIFICATION, WITH SCREED TO FALL TO OUTLETS MIN 1/100. 3mm & 5mm THK "THERMOFLEX" WATERPROOFING ON BOTTOM & SIDES OF GUTTER BY SPECIALIST. PROVIDE FULLBORE OUTLETS TO ENGINEERS SPECIFICATION.

5900mm LONG x 1200mm WIDE SKYLIGHT TO ENG. & SPECIALIST DETAIL.

96mm DEEP x 150mm WIDE INDUSTRIAL ALUMINIUM GUTTER TO SPECIALIST DETAIL.

96mm DEEP x 150mm WIDE INDUSTRIAL ALUMINIUM GUTTER TO SPECIALIST DETAIL.

DARK GREY - SAFINTRA NEWLOK, ALUMINIUM ROOF SHEETING. 5° ROOF PITCH.

REAR RELAXATION: REQUIRED. FROM 4.5m TO 2m. (BALCONY OVERHANG)

REINFORCED CONC. OVERHANG TO ENG. DETAIL & SPEC.

1m HIGH GLASS BALUSTRADE TO ENG. & SPEC. DETAIL.

255mm THICK SLAB TO ENG. DETAIL & SPECIFICATION.

500mm DEEP REINFORCED CONC. BEAM TO ENG. DETAIL & SPEC.

255mm THICK SLAB TO ENG. DETAIL & SPECIFICATION.

150mm RE-INFORCED CONCRETE SURFACE BED TO ENG. SPEC. ON 250 MICRON GREEN POLYOLEFIN DAMP PROOFING MEMBRANE (SABS 952 TYPE C). SEAL ALL OVERLAPS AND JOINTS WITH APPROVED ADHESIVE. ON COMPACTED FILLING. POISON SOIL UNDER INTERNAL & EXTERNAL WALLS & SURFACE BEDS WITH CHLORDANE OOA SOIL INSECTICIDE TO COMPLY WITH SABS 0124.

SECTION A-A 1:100

ALL CONCRETE GUTTERS TO ENGINEERS SPECIFICATION, WITH SCREED TO FALL TO OUTLETS MIN 1/100. 3mm & 5mm THK "THERMOFLEX" WATERPROOFING ON BOTTOM & SIDES OF GUTTER BY SPECIALIST. PROVIDE FULLBORE OUTLETS TO ENGINEERS SPECIFICATION.

GENERIC INSULATION PRODUCT: FLEXIBLE MINERAL/ROCKWOOL
60 TO 120KG/M³ DENSITY
0,033 THERMAL CONDUCTIVITY
100mm THICKNESS

SISOLATION:
420 UNDER ROOF BATTENS. ROOF WATER RESISTANT UNDERLAY.

DARK GREY - SAFINTRA NEWLOK, ROLL-FORMED IN 0.50MM COLORPLUS® AZ150, AND SNAP-LOCKED OR SNAP LOCKED AND SEAMED ROOF SHEETING, FIXED TO STEEL INTERNAL PURLINS AT 1500MM, AND STEEL RIDGE/EAVES PURLINS AT 1300mm CENTRES USING NEWLOK CLIPS WHICH MUST BE SCREW FIXED TO PURLINS WITH FIXTITE® OR SAFINTRA APPROVED WAFER HEAD SELFTAPPING SCREWS, ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

THE ROOF SHEETING SHALL BE MANUFACTURED BY SAFINTRA ROOFING, ROLLFORMED IN CONTINUOUS LENGTHS AND CUT TO LENGTH FROM ALUMINIUM OR ALUMINIUM-ZINC COATED STEEL. 5° ROOF PITCH.

THE PROFILE SHALL BE ROLL FORMED WITH 2 RIBS OF 50.8MM AND A COVER WIDTH OF 445mm. TWO STIFFENING RIBS SHALL BE INCORPORATED IN THE PAN.

ALL CONCRETE GUTTERS TO ENGINEERS SPECIFICATION, WITH SCREED TO FALL TO OUTLETS MIN 1/100. 3mm & 5mm THK "THERMOFLEX" WATERPROOFING ON BOTTOM & SIDES OF GUTTER BY SPECIALIST. PROVIDE FULLBORE OUTLETS TO ENGINEERS SPECIFICATION.

CONCRETE STAIRS:
STAIRS 2:
32x 171.875mm RISERS.
31x 250mm TREADS.

RIGHT SIDE RELAXATION: REQUIRED. FROM 4.5m TO 1870mm. (FIRE ESCAPE STAIRS 2)

SECTION B-B 1:100

REINFORCED CONC. PARAPET TO ENG. DETAIL.

170mm THICK SLAB TO ENG. DETAIL & SPECIFICATION.

1m HIGH STEEL BALUSTRADE TO ENG. & SPECIALIST DETAIL.

255mm THICK SLAB TO ENG. DETAIL & SPECIFICATION.

300mm DEEP BEAM TO ENG. DETAIL & SPECIFICATION.

BREEZE BLOCKS TO ENG. DETAIL.

255mm THICK SLAB TO ENG. DETAIL & SPECIFICATION.

CONCRETE STAIRS:
STAIRS 1:
32x 171.875mm RISERS.
31x 250mm TREADS.

PILES & GROUND BEAMS TO ENGINEER.

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150mm RE-INFORCED CONCRETE SURFACE BED TO ENG. SPEC. ON 250 MICRON GREEN POLYOLEFIN DAMP PROOFING MEMBRANE (SABS 952 TYPE C). SEAL ALL OVERLAPS AND JOINTS WITH APPROVED ADHESIVE. ON COMPACTED FILLING. POISON SOIL UNDER INTERNAL & EXTERNAL WALLS & SURFACE BEDS WITH CHLORDANE OOA SOIL INSECTICIDE TO COMPLY WITH SABS 0124.

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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: SECTIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

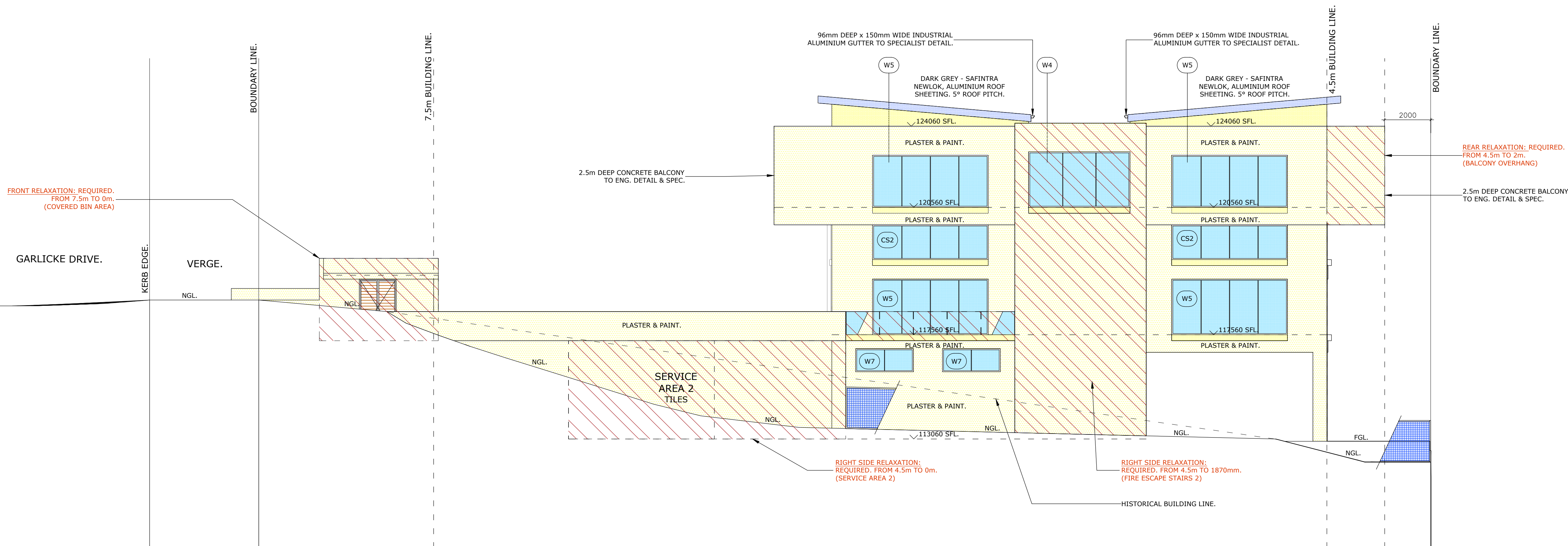
PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

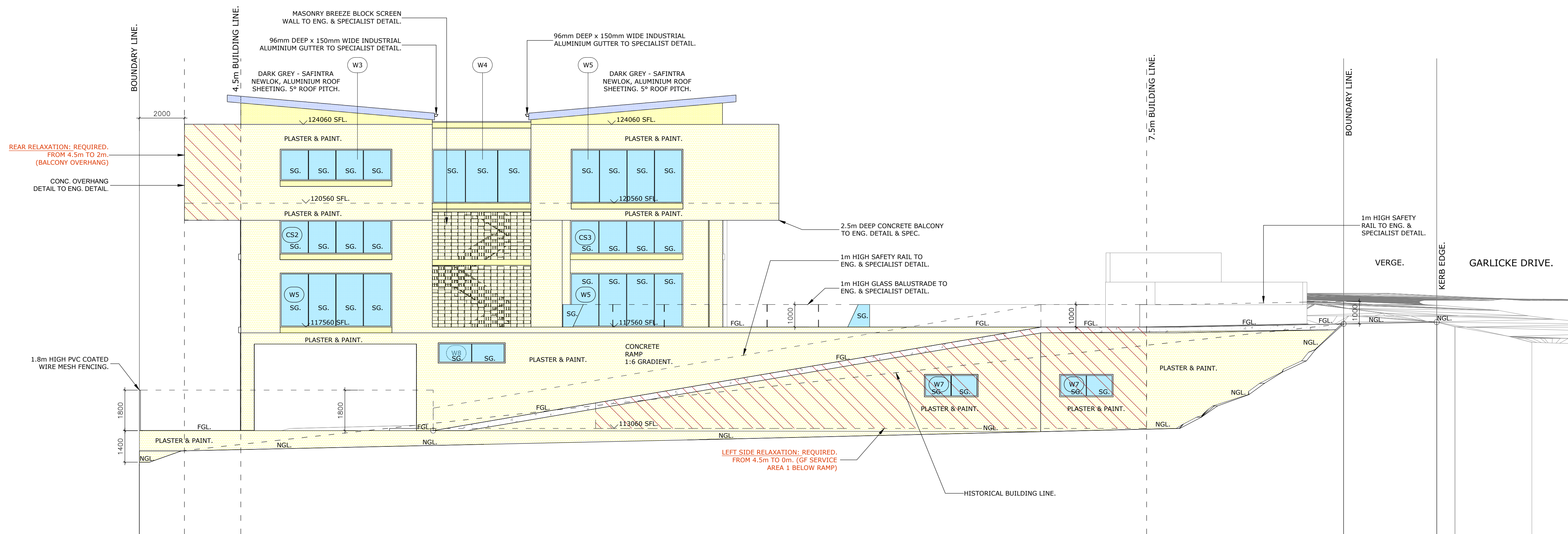
DRAWING NO.: KZN25-SUB01-300 SHEET: 5 OF 8

DATE: 27/08/2025 REVISION: 0

COUNCIL STAMP



EAST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

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CLIENT: GURUVADU INVESTMENTS PROPRIETARY LIMITED.

DRAWING DESCRIPTION: ELEVATIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

CHECKED BY: CORNEL CLOETE PR-ARCH 24743077

PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-400 SHEET: 6 OF 8

DATE: 27/08/2025 REVISION: 0

BOUNDARY LINE.

BOUNDARY LINE.

4.5m BUILDING LINE.

4.5m BUILDING LINE.

BOUNDARY LINE.

LEFT SIDE RELAXATION:
REQUIRED, FROM 4.5m
TO 0m. (GF SERVICE
AREA 1 BELOW RAMP)

RIGHT SIDE RELAXATION:
REQUIRED, FROM 4.5m
TO 0m. (GF SERVICE
AREA 2 BELOW RAMP)

BOUNDARY LINE.
RIGHT SIDE RELAXATION:
REQUIRED, FROM 4.5m TO 1870mm.
(FIRE ESCAPE STAIRS 2)

BOUNDARY LINE.

SOUTH EAST ELEVATION 1:100

NORTH WEST ELEVATION 1:100

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PROJECT: PROPOSED NEW WAREHOUSE STORAGE,
RETAIL & OFFICE UNITS FOR GURUVADU
INVESTMENTS PROPRIETARY LIMITED ON
ERF 4746, GARLICKE DRIVE, BALLITOVILLE.

CLIENT: GURUVADU INVESTMENTS PROPRIETARY
LIMITED.

DRAWING DESCRIPTION:
ELEVATIONS 1:100.

BUILDING CLASSIFICATION: J2 - MODERATE RISK STORAGE
F2 - SMALL SHOP
G1 - OFFICES

AUTHOR: BBS

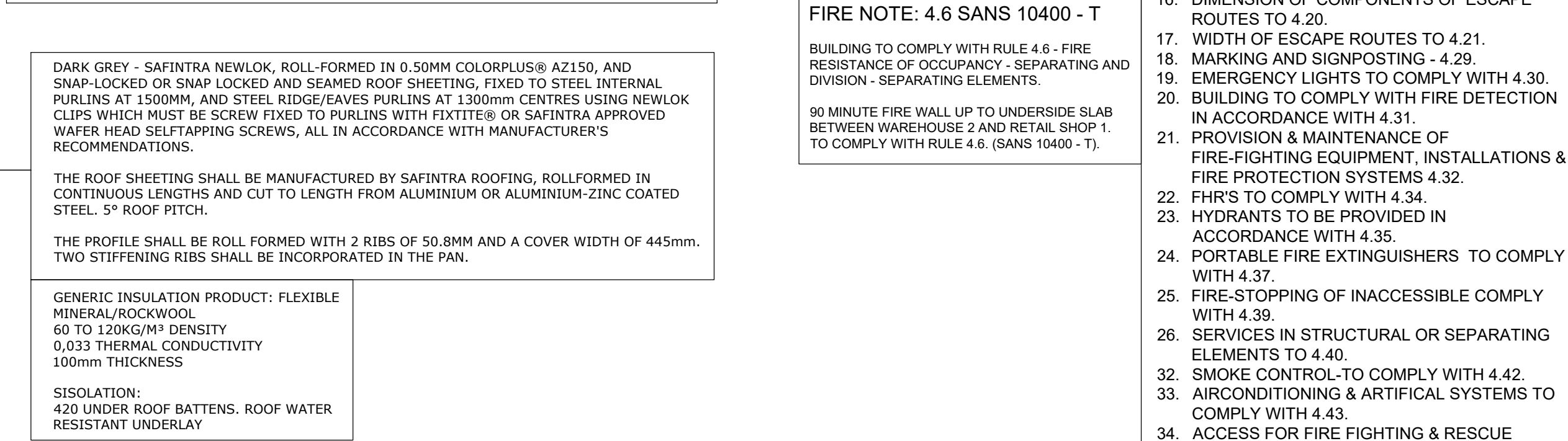
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PROJECT STATUS: RELAXATION DRAWINGS

PROJECT NO.: CCA25/022 P/A PLAN NO: NA

DRAWING NO.: KZN25-SUB01-401 SHEET: 7 OF 8

DATE: 27/08/2025 REVISION: 0

[illegible]